



# REVOLUTION TOWN PLANNING

FOR NOW AND FOR THE FUTURE

27 November 2023

Email: [mail@gwydir.nsw.gov.au](mailto:mail@gwydir.nsw.gov.au)

Dear Sir/Madam,

**Property:** 33 - 35 Maitland Street on land described as Part of Lot 20, Section 38 DP758111, Lot 1 DP87721 and Lots A, B and C on DP156383 and, 37 Maitland Street described as Part of Lot A DP152922 (BK1566 No 614 Right of Way), and 39 Maitland Street, described as Part Lot 1 DP209422 (BK1701 No 95 Right of Way), Bingara NSW 2404

**Application Ref:** PAN-388341 (NSW Planning Portal)

**Subject:** Development Application for development consent for a Community Facility and Office

I write in relation to the above-mentioned development application, NSW Planning Portal reference number PAN-388341. Further to the material provided thus far, please find attached an amended Statement of Environmental Effects which replaces the Statement of Environmental Effects uploaded to the NSW Planning Portal on 9 November 2023. The amendments made to the Statement of Environmental Effects include:

- Amendments to the land description in the Executive Summary and Conclusion;
- Amended Figure 1 and Figure 2;
- An assessment of the proposal against SEPP (Sustainable Buildings) 2022 and a completed NABERS Embodied Emissions Materials form (Section 1.3); and
- New Section 3.3.4 addressing the requirements for development applications made by Council.
- The inclusion of Perspective Views in Appendix 3.

Refer **Attachment 1** for amended Statement of Environmental Effects.

Additionally, you are advised that notice has been given to the landowners of the properties at 37 and 39 Maitland Street, Bingara in accordance with Section 23 (3)(a) of the *Environmental Planning and Assessment Regulation 2021* (refer **Attachment 2**). As such, the landowner's written consent is not required to be provided.

It is requested that the land description for the application is amended in the Planning Portal to reflect the land description noted in the Statement of Environmental Effects. Additionally, it is requested the answer to the '*Sustainable Buildings*' is amended to note the development is required to be assessed against the SEPP (Sustainable Buildings) 2022. If the amendment has occurred, please ignore this request.

If you have any questions, please do not hesitate to contact me on 0428 289 446 or the email address below.

Regards,

Peter Swan, Director  
Revolution Town Planning



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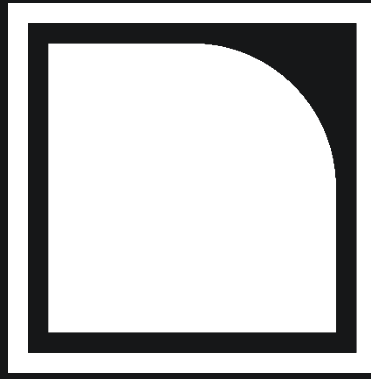
## ATTACHMENT 1 – Amended Statement of Environmental Effects

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# REVOLUTION TOWN PLANNING

## Statement of Environmental Effects

Development Application for Proposed Community Facility &  
Office Premises at 33 – 35, Pt 37 & Pt 39 Maitland Street,  
Bingara NSW 2404



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# Executive Summary

This report has been prepared on behalf of **Gwydir Shire Council** for the purposes of supporting a Development Application for Development Consent for a proposed Community Facility and Office Premises at 33 - 35 Maitland Street on land described as Part of Lot 20, Section 38 DP758111, Lot 1 DP87721 and Lots A, B and C on DP156383 and, 37 Maitland Street described as Part of Lot A DP152922 (BK1566 No 614 Right of Way), and 39 Maitland Street, described as Part Lot 1 DP209422 (BK1701 No 95 Right of Way), Bingara NSW 2404.

The proposed development comprises:

- Demolition of the existing buildings and ancillary infrastructure at 33-35 Maitland Street (subject to Development Consent DA24/2023), excluding the façade of the Soldiers Memorial Building which is to be retained;
- Community facility (~ 338m<sup>2</sup> GFA) comprising:
  - Community forecourt and greenspace;
  - Visitor information centre;
  - Public amenities;
  - Community/councillors meeting room;
  - Customer Service Centres;
  - Mayor office and
  - Council Chambers.
- Office premises (~ 766m<sup>2</sup> GFA) comprising:
  - Centrelink office and quiet space;
  - Staff recreation and collaborative areas;
  - Offices and meeting rooms,
  - IT Hub;
  - Gwydir News Office; and
  - Breakout area.
- Landscaping;
- Twenty-two (22) carparking spaces including fifteen (15) which are being formalised in the Council depot;
- Delivery bay; and
- Vehicular access via a Right of Way from Cunningham Street.

This report has been prepared in accordance with Section 24 of the *Environmental Planning and Assessment Regulation 2021* (the Regulation) to accompany an Application for Development Consent to be submitted to Gwydir Shire Council. The report assesses the proposed development with regard to the applicable Assessment Requirements. It is considered the proposed development generally complies with the Assessment Requirements or it can be conditioned to comply. As such, this report recommends consent be granted under Clause 4.16 of the *Environmental Planning and Assessment Act* (the Act).

This report should be used for no other purpose.



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**Appendix 1** – Property Reports

**Appendix 2** – NABERS Embodied Emissions Materials Form

**Appendix 3** – Proposal Plans

**Appendix 4** – Development Consent for Demolition of Existing Buildings

**Appendix 5** – Copy of Survey Plan Showing Right of Way

Rev No.	Amendment Brief	Prepared	Reviewed	Approved	Date
02	For DA	NM	PS	PS	24/11/2023

## 1.0 Site Context and Locality

The subject site is located at 33 - 35 Maitland Street on land described as Part of Lot 20 Section 38 DP758111, Lot 1 DP87721 and Lots A, B and C on DP156383 and 37 Maitland Street described as Part of Lot A DP152922 (BK1566 No 614 Right of Way) and 39 Maitland Street, described as Part Lot 1 DP209422 (BK1701 No 95 Right of Way), Bingara NSW 2404. An aerial view of the subject site is shown in **Figure 1**.



**Figure 1 – Site Aerial View** (Source: Six Maps, NSW, 2023)

The subject site:

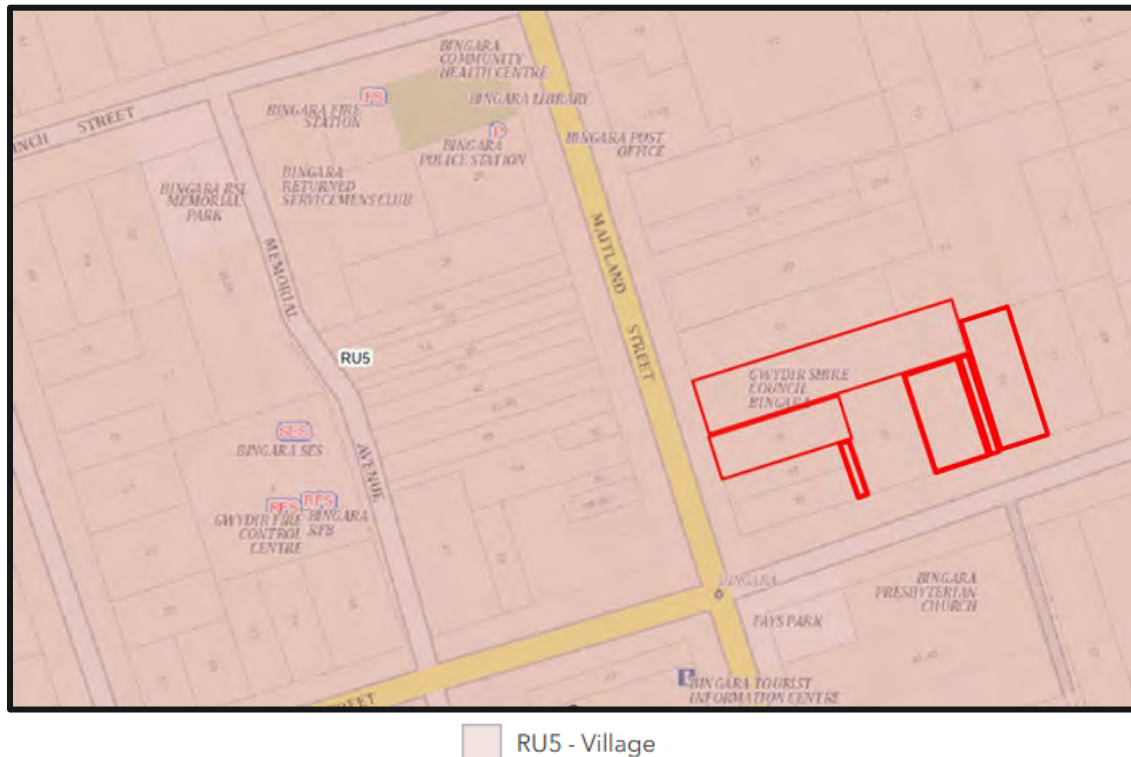
- Is approximately 2,910m<sup>2</sup> in area and are improved by the existing Soldier's Memorial Hall at 33 Maitland Street and former offices at 35 Maitland Street;
- Slopes gently north to south; and
- Has dual frontage to Maitland Street to the west and Cunningham Street to the south.

Development in the locality is mixed in nature consisting of a range of commercial, administrative and residential land uses.

Property Reports are included in **Appendix 1**.

## 1.1 Local Environmental Plan (LEP) Data

The sites are located within RU5 – Village Zone of the *Gwydir Local Environmental Plan 2013 (GLEP)*. An excerpt of the zoning map for the site is shown in **Figure 2** (below).



**Figure 2** – Zoning Map (Source: NSW Planning Portal Spatial Viewer, 2023)

## 1.2 Infrastructure

The sites are connected to reticulated water and wastewater infrastructure as well as connection to electricity supply and the telecommunication network.

## 1.3 State Environmental Planning Policy (SEPP)

Relevant to the development are the following SEPPs:

- State Environmental Planning Policy (Biodiversity and Conservation) 2021;
- State Environmental Planning Policy (Resilience and Hazards) 2021;
- State Environmental Planning Policy (Transport and Infrastructure) 2021; and
- State Environmental Planning Policy (Sustainable Buildings) 2022.

### Comment

In relation to the relevant SEPPs it is considered that the proposed development will not impact the abovementioned SPPs as follows:

### SEPP (Biodiversity and Conservation) 2021

The proposed development is located wholly within an existing urban area. No matters within this SEPP are relevant to the site.



## SEPP (Resilience and Hazards) 2021

The proposed development is not in a Coastal Management Area or a Noxious or Offensive Industry.

## SEPP (Transport and Infrastructure) 2021

SEPP (Transport and Infrastructure) 2021 provides development controls for infrastructure and services. It is considered that the development will not require referral to Transport for NSW as the development will not result in traffic generation of 200 or more motor vehicle movements per hour.

## SEPP (Sustainable Buildings) 2022

This policy has been introduced by the NSW Government to ensure that new and renovated buildings are sustainable, resilient for the future climate and bring NSW closer to net zero emissions. In this respect, as the development has a capital investment value of more than \$5 million, SEPP (Sustainable Buildings) 2022 is applicable pursuant to Section 3.1 (1)(a) of the SEPP. As such, the development must comply with Section 3.2 which is reproduced below:

- 1) *In deciding whether to grant development consent to non-residential development, the consent authority must consider whether the development is designed to enable the following—*
  - (a) *the minimisation of waste from associated demolition and construction, including by the choice and reuse of building materials,*
  - (b) *a reduction in peak demand for electricity, including through the use of energy efficient technology,*
  - (c) *a reduction in the reliance on artificial lighting and mechanical heating and cooling through passive design,*
  - (d) *the generation and storage of renewable energy,*
  - (e) *the metering and monitoring of energy consumption,*
  - (f) *the minimisation of the consumption of potable water.*
- (2) *Development consent must not be granted to non-residential development unless the consent authority is satisfied the embodied emissions attributable to the development have been quantified.*

To address Section 3.2 of the SEPP, a NABERS Embodied Emissions Materials form has been completed which quantifies the embodied emissions attributable to the development per the relevant provisions. The new building has a net lettable office area of 685m<sup>2</sup> and is not considered to be a large commercial development. As such, Section 3.3 of the SEPP is not applicable. Refer **Appendix 2**.

It is considered that SEPP (Sustainable Buildings) 2022 has been adequately addressed.

No further regard is had for the abovementioned SEPPs within this report.

## 2.0 The Proposed Development

The proposed development comprises:

- Demolition of the existing buildings and ancillary infrastructure at 33-35 Maitland Street (subject to Development Consent DA24/2023), excluding the façade of the Soldiers Memorial Building which is to be retained;
- Community facility (~ 338m<sup>2</sup> GFA) comprising:
  - Community forecourt and greenspace;
  - Visitor information centre;
  - Public amenities;
  - Community/councillors meeting room;
  - Customer Service Centres;
  - Mayor office and
  - Council Chambers.
- Office premises (~ 766m<sup>2</sup> GFA) comprising:
  - Centrelink office and quiet space;
  - Staff recreation and collaborative areas;
  - Offices and meeting rooms,
  - IT Hub;
  - Gwydir News Office; and
  - Breakout area.
- Landscaping;
- Twenty-two (22) carparking spaces including fifteen (15) which are being formalised in the Council depot;
- Delivery bay; and
- Vehicular access via a Right of Way from Cunningham Street.

The respective areas are shown in **Figure 3** overleaf.

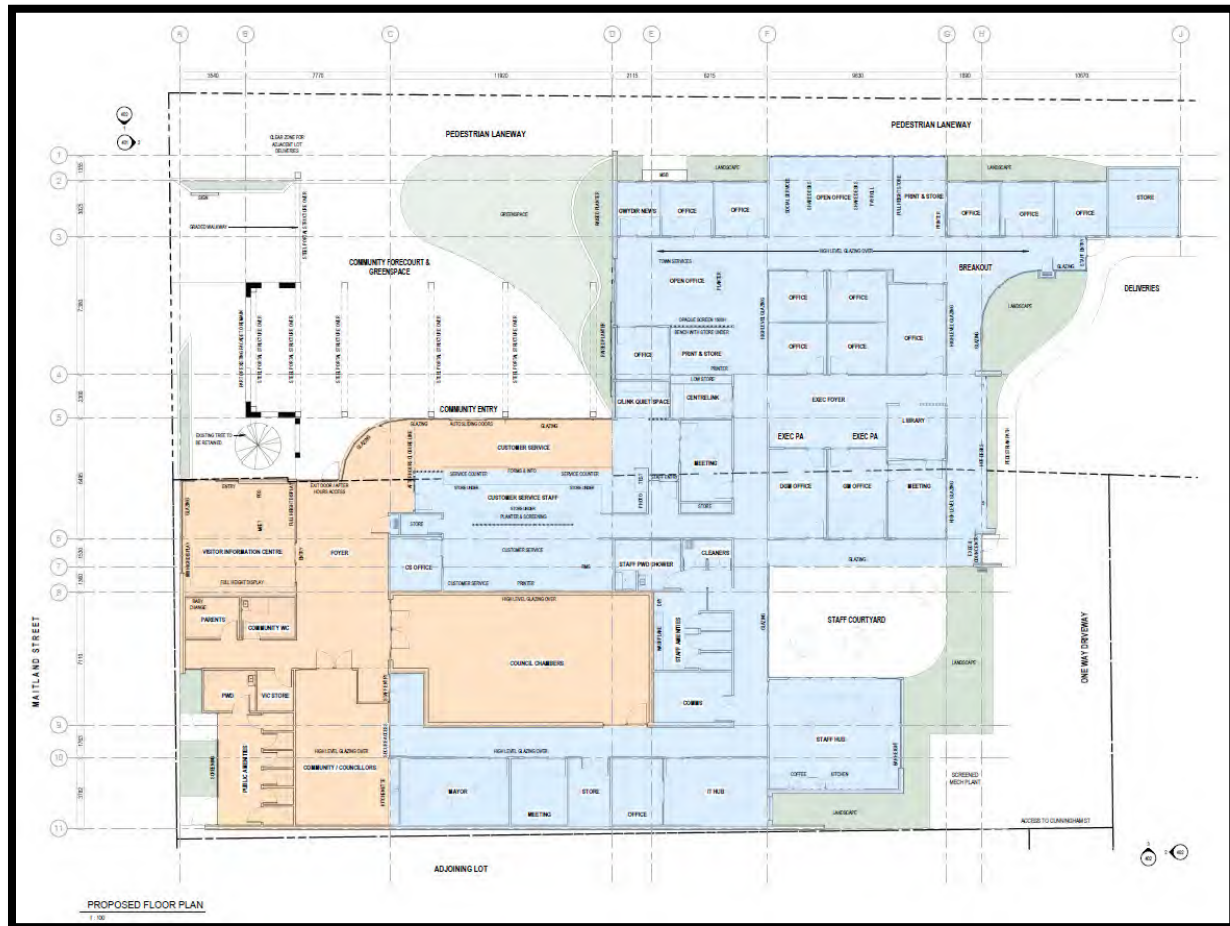
The impervious area on the site is remaining generally the same as it was pre-development. No earthworks are required. In this respect the development will maintain the existing stormwater flows within and through the site. Existing external stormwater infrastructure is adequately sized and located to accommodate stormwater from the proposed development.





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**Figure 3 – GFA Breakdown for Community Facility and Office Premises**  
(Source: StruXi Design Pty Ltd, 2023)

The proposed Site Plan is shown in **Figure 4** overleaf with a complete set of proposed plans included in **Appendix 3** of this report.

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**Figure 4 – Excerpt Site Plan (Source: StruXi Design Pty Ltd, 2023)**

## 2.1 Existing Development Consent

The sites benefit from Development Consent DA24/2023 for the demolition of the former Council building and Soldier Memorial Hall at 33 Maitland Street and the adjoining building at 35 Maitland Street. The development consent and conditions are included in **Appendix 4**.

According to the Approved Statement of Environmental Effects, the building at 33 Maitland Street is contaminated by mould and the building at 35 Maitland Street is structurally unsound and in a state of disrepair.

Relevant to the proposed development are the following conditions of consent:

### Condition 2

#### **2. Compliance with Documents**

*The development shall comply with the document “33 & 35 Maitland Street Bingara, Statement of Environmental Effects”, by SMK Consultants, dated April 2023, except as modified by the conditions of consent.*

### Condition 3

#### **3. Retention of Façade and Portico**

*The façade and portico of No. 33 Maitland Street, Bingara is to be protected and stabilised in accordance with the Engineers Report, “Structural Engineers Report”, by David C Jones, dated 15 July 2023.*



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## Condition 5

### **5. Photographic Survey**

*A full photo survey is to be taken of 33 Maitland prior to demolition and shall include archival quality photographs as well as digital images.*

## Condition 11

### **11. Photographic Record**

*An archival photographic record is to be taken of the building's deconstruction and supplied to Council.*

### **Advising – Future development**

- a. *Replacement buildings need to respect the streetscape without copying historic development.*
- b. *Interpretive material should be included in any redevelopment of the sites.*

## Comment

The development consent and in particular the conditions listed above are consequential to the proposed development in so far as the façade and portico of the existing building at 33 Maitland Street are required to be retained and incorporated into any redevelopment of the site.

The proposal plans at **Appendix 3** demonstrate retention of the façade and portico as part of the new development.

Consistent with the advice in the development consent interpretive material should be included in any redevelopment of the sites. It is considered that the before and after photos of the demolition within works may be able to be used within a publicly accessible area (i.e. the landscaping area and laneway adjacent the customer service centre entrance).

## **2.2 Pre-lodgment Advice**

No pre-lodgment meeting was requested or undertaken prior to the submission of this development application.

## 3.0 Planning Assessment

The development application is required to be assessed against relevant NSW State Government Environmental Planning Instruments listed below:

- *Environmental Planning and Assessment Act (1979) (EP&A Act);*
- *Environmental Planning and Assessment Regulation (2021); and*
- *Gwydir Local Environmental Plan 2013 (GLEP)*

*Note: Gwydir Shire Council does not have a development control plan. As such, a relevant local planning instrument is not applicable in this instance.*

As such this development application is made pursuant to Section 4.15 of the EP&A Act under the GLEP 2013. More specifically, this report has been prepared in accordance with Clause 50(1)(a) of the *Environmental Planning and Assessment Regulation 2021* and is to be included in a Development Application to be submitted to Gwydir Shire Council seeking development consent.

## 3.1 Environmental Assessment

Section 4.15 of the EP&A Act requires that matters for consideration be assessed by a consent authority per Part 4 of the EP&A Act. The following matters as particularly relevant to the development and demonstrate that the development will not adversely affect the surrounding locality and will improve the current situation as follows:

### Social and Economic Impacts

The proposed development will improve the current situation and provide community facilities and office premises that will meet the needs of the council employees and the community at large.

The proposed access from Cunningham Street will occur from the existing Right of Way which is in proximity to a residential premises located at 39 Cunningham Street. To minimise the impact of the development on the residential premises, it is proposed that acoustic fencing is provided along the shared property boundary with the Right of Way and along the rear property boundary of the residential premises which will minimise the impact of the car parking area.

It is considered that the development will enhance the social and economic circumstances of the immediate area.

### Traffic, Parking and Transport

Twenty – two (22) on-site carparking spaces are proposed. These include formalising fifteen (15) spaces within the Council Depot accessed from Cunningham Street. Access is via a Right of Way Covenant from Cunningham Street. Vehicle circulation will be one-way through the site, including for refuse collection and a loading area at the rear of the site. Whilst there is no assessment clause regarding minimum on-site carparking provision, it is considered that the additional car parking spaces provides additional spaces to the existing scenario and overall will improve the safety and efficiency of both on-site and external vehicle and pedestrian movement.

As mentioned above, to minimise and mitigate any potential adverse impacts of vehicle manoeuvring on nearby sensitive receptors, it is proposed that acoustic fencing is provided along property boundaries adjacent vehicle manoeuvring and carparking areas and residential uses.

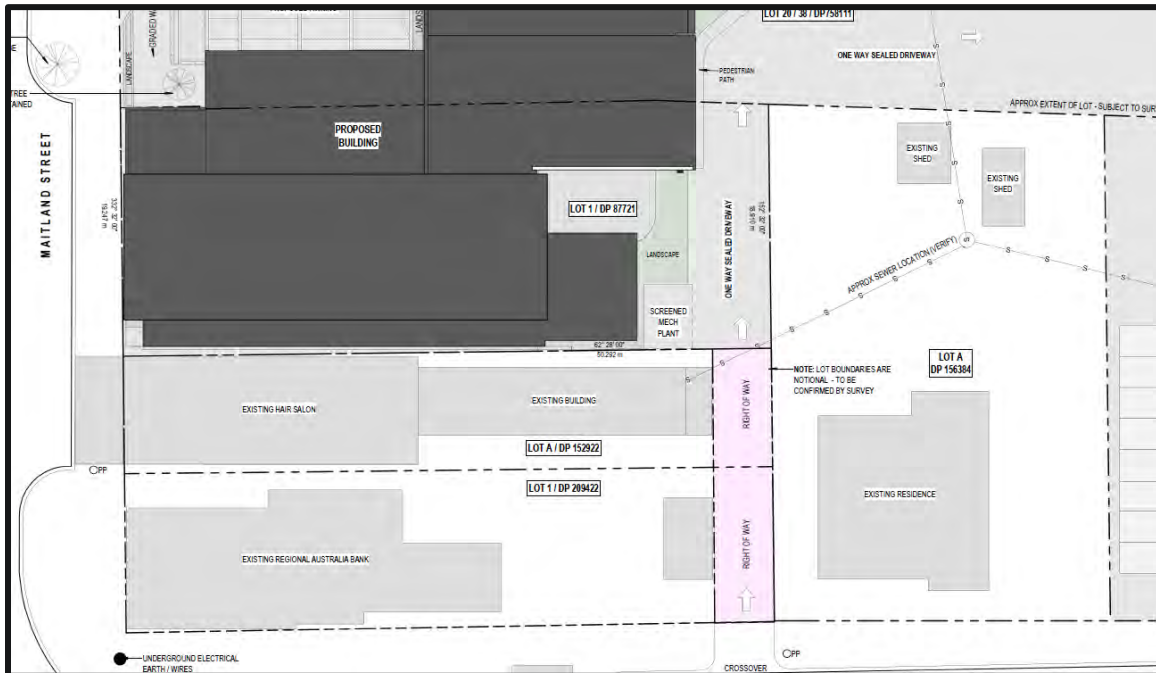
It is noted that the existing Right of Way provides access to the existing southern lot where the building is located but the northern lot does not currently benefit from these rights. (refer **Figure 5** below and a copy of the survey



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plan at **Appendix 5**). The development will result in the extension of a Right of Way to the proposed car parking area and will likely require agreement between relevant landowners and the delineation of responsibilities and rights between the dominant and servient tenements in a written agreement per the provisions of Section 88B of the *Conveyancing Act 1919*. In this respect, it advised that Council condition this requirement.



**Figure 5 – Excerpt of Right of Way (Source: StruXi Design Pty Ltd, 2023)**

It is considered that the development will meet the parking requirements of the development while minimising the impact of traffic generated in proximity to the nearest sensitive receptor i.e. proposing acoustic fencing.

## Noise

As mentioned above, the Right of Way and car parking area are in close proximity to a residential premises at 39 Cunningham Street.

Noise impacts from carparking areas are normally understood through the provision of an Acoustic Impact Assessment Report or Statement. However, given the limited number of car parking spaces and the fact the facility will generally be in use only during business hours Monday to Friday, it is considered that an Acoustic Impact Assessment Report is not warranted. It is proposed that a 1.8m high double lapped timber paling solid screen fence (or equivalent) provided along all boundary shared with a residential use. The fencing will assist in minimising and mitigating any adverse noise impacts of the development on sensitive receptors.

Additionally, limiting the hours of operation and access to the car parking area to 7AM to 6PM (or similar) will also assist in minimising noise impacts of the development on adjacent sensitive receptors. Council can impose conditions of approval requiring that these measures are put in place.

It is considered that the development will not unduly impact the amenity of the nearest sensitive receptor.

## Stormwater Management

The [NSW Topographic Mapping](#) indicates that the land is generally flat. A review of aerial imagery indicates that there is existing stormwater grates and legal points of discharge within the building frontages on Maitland Street

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and in proximity to the Right of Way on Cunningham Street. The impervious area on the site is remaining generally the same as it was pre-development. No earthworks are required. In this respect the development will maintain the existing stormwater flows within and through the site. Existing external stormwater infrastructure is adequately sized and located to accommodate stormwater from the proposed development.

It is considered that the development will manage stormwater generated onsite and will not cause a nuisance to downstream properties.

### Landscaping

A Landscape Plan is included in the Proposal Plans in **Appendix 3**.

It is considered that the conceptual landscaping plan will improve the current situation and provide a high aesthetic standard.

### Waste

Given the development will be occupied by different user groups in different areas of the building, it is recommended a requirement for a waste management plan to be submitted to Council for approval is included as a condition of approval. The WMP should include:

- Best practice and sustainable waste management procedures;
- The type and volume of waste expected to be generated;
- The number and volume of bins required and the frequency of collection;
- The waste storage area;
- The method of waste collection;
- Responsibilities of each user group;
- Implementation and review of the plan; and
- Any requirements in relation to the above.

## 3.2 GLEP

In accordance with the GLEP, the proposed development may be carried out only with development consent. Pursuant to RU5 – Village of the LEP, both community facility and office uses are **Permitted with consent**.

## 3.3 Relevant Clauses - GLEP

The following sections detail the applicable elements of the GLEP as per the details of the LEP. It is considered that the development meets the requirements of the zoning and the applicable clauses as demonstrated in the sections below.

### *3.3.1 Part 2 Permitted or prohibited development*

As demonstrated in Section 3.1 the development is categorised as **Permitted with consent** development pursuant to *Part 2 Land use zones* in the GLEP.

#### Zone RU5 Village

##### *1 Objectives of zone*

- *To provide for a range of land uses, services and facilities that are associated with a rural village.*

**2 Permitted without consent**

*Building identification signs; Environmental protection works; Extensive agriculture; Home-based child care; Home occupations; Roads; Water reticulation systems*

**3 Permitted with consent**

*Agricultural produce industries; Centre-based child care facilities; Community facilities; Dwelling houses; Neighbourhood shops; Oyster aquaculture; Places of public worship; Recreation areas; Recreation facilities (indoor); Recreation facilities (outdoor); Respite day care centres; Schools; Tank-based aquaculture; Any other development not specified in item 2 or 4*

**4 Prohibited**

*Agriculture; Air transport facilities; Airstrips; Boat launching ramps; Boat sheds; Cellar door premises; Charter and tourism boating facilities; Correctional centres; Extractive industries; Farm buildings; Farm stay accommodation; Forestry; Heavy industrial storage establishments; Heavy industries; Jetties; Marinas; Mooring pens; Moorings; Mortuaries; Open cut mining; Resource recovery facilities; Roadside stalls; Rural industries; Rural workers' dwellings; Sex services premises; Waste disposal facilities; Wharf or boating facilities*

**Response**

The development is for a Community Facility and Office Premises which are uses consistent with the intent of the zone are a type and form of development envisaged by the GLEP.

It is considered the proposed development complies with Objectives of RU5 which is to provide for a range of *range of land uses, services and facilities that are associated with a rural village.*

**Part 4 Principal Development Standards**

Development Standards under Part 4 of the GLEP such as height of buildings, floor space ratio, calculation of floor space ratio and site area and architectural roof features have not been adopted as development standards. As such Part 4 of GLEP is not applicable to the development.

**Part 5 Miscellaneous Provisions**

The following clauses are relevant to the proposed development.

**5.10 Heritage conservation*****Note—***

*Heritage items (if any) are listed and described in Schedule 5. Heritage conservation areas (if any) are shown on the Heritage Map as well as being described in Schedule 5.*

**(1) Objectives** *The objectives of this clause are as follows—*

- (a) to conserve the environmental heritage of Gwydir,*
- (b) to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,*
- (c) to conserve archaeological sites,*
- (d) to conserve Aboriginal objects and Aboriginal places of heritage significance.*

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- (4) **Effect of proposed development on heritage significance** *The consent authority must, before granting consent under this clause in respect of a heritage item or heritage conservation area, consider the effect of the proposed development on the heritage significance of the item or area concerned. This subclause applies regardless of whether a heritage management document is prepared under subclause (5) or a heritage conservation management plan is submitted under subclause (6).*
- (5) **Heritage assessment** *The consent authority may, before granting consent to any development—*
- (a) *on land on which a heritage item is located, or*
  - (b) *on land that is within a heritage conservation area, or*
  - (c) *on land that is within the vicinity of land referred to in paragraph (a) or (b), require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the heritage item or heritage conservation area concerned.*

Response

Whilst the site is not identified as a heritage item, the proposed development should not detract from nearby heritage places. Further, the development is required to retain the façade of the existing structure by a current development consent. The proposed building is of a scale that is commensurate or lesser in height than adjacent buildings, includes elements of the existing streetscape and does not obstruct views of any heritage place.

It is considered the proposed development complies with Clause 5.10 Heritage conservation.

**5.12 Infrastructure development and use of existing buildings of the Crown**

- (1) *This Plan does not restrict or prohibit, or enable the restriction or prohibition of, the carrying out of any development, by or on behalf of a public authority, that is permitted to be carried out with or without development consent, or that is exempt development, under State Environmental Planning Policy (Transport and Infrastructure) 2021, Chapter 2.*
- (2) *This Plan does not restrict or prohibit, or enable the restriction or prohibition of, the use of existing buildings of the Crown by the Crown.*

Response

Regardless of the provisions under Chapter 2 of *SEPP (Transport and Infrastructure) 2021*, this LEP does not restrict or prohibit, or enable the restriction or prohibition of, the carrying out of any development, by or on behalf of a public authority, that is permitted to be carried out with or without development consent, or that is exempt. It is considered the proposed development complies with Clause 5.12 Infrastructure development and use of existing buildings of the Crown.

Part 6 Additional Local Provisions

The following clauses are relevant to the proposed development.

**6.1 Earthworks**

- (1) *The objective of this clause is to ensure that earthworks for which development consent is required will not have a detrimental impact on environmental functions and processes, neighbouring uses, cultural or heritage items or features of the surrounding land.*
- (2) *Development consent is required for earthworks unless—*



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- (a) *the earthworks are exempt development under this Plan or another applicable environmental planning instrument, or*
- (b) *the earthworks are ancillary to development that is permitted without consent under this Plan or to development for which development consent has been given.*
- (3) *Before granting development consent for earthworks (or for development involving ancillary earthworks), the consent authority must consider the following matters—*
  - (a) *the likely disruption of, or any detrimental effect on, drainage patterns and soil stability in the locality of the development,*
  - (b) *the effect of the development on the likely future use or redevelopment of the land,*
  - (c) *the quality of the fill or the soil to be excavated, or both,*
  - (d) *the effect of the development on the existing and likely amenity of adjoining properties,*
  - (e) *the source of any fill material and the destination of any excavated material,*
  - (f) *the likelihood of disturbing relics,*
  - (g) *the proximity to, and potential for adverse impacts on, any waterway, drinking water catchment or environmentally sensitive area,*
  - (h) *the proximity to and the potential for adverse impacts on any heritage item, archaeological site or heritage conservation area,*
  - (i) *the effect of the development on native fauna and flora, including threatened species, populations or ecological communities and their habitats,*
  - (j) *any appropriate measures proposed to avoid, minimise or mitigate the impacts of the development.*

## Response

Earthworks are for exempt development under the GLEP where:

- satisfying the relevant provisions; or
- satisfying the provisions of another applicable environmental planning instrument; or
- where the earthworks are ancillary to development that is permitted without consent under the GLEP; or
- associated with development for which development consent has been given.

It is expected that no earthworks are required with only minor amounts of fill places to create a building pad.

## **6.4 Essential services**

*Development consent must not be granted to development unless the consent authority is satisfied that any of the following services that are essential for the development are available or that adequate arrangements have been made to make them available when required—*

- (a) *the supply of water,*
- (b) *the supply of electricity,*
- (c) *the disposal and management of sewage,*
- (d) *stormwater drainage or on-site conservation,*
- (e) *suitable vehicular access.*

## Response

The subject sites have existing connection to:

- Council's reticulated water and wastewater network;
- Electricity supply; and
- Telecommunications network.

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The impervious area on the site is remaining generally the same as it was pre-development. No earthworks are required. In this respect the development will maintain the existing stormwater flows within and through the site. Existing external stormwater infrastructure is adequately sized and located to accommodate stormwater from the proposed development.

It is considered that the development will manage stormwater generated onsite and will not cause a nuisance to downstream properties.

### ***3.3.2 Development Contribution Plan***

Whilst it is acknowledged that the Section 94 of the EP&A Act has been replaced by Section 7.11, Gwydir Shire Council continues to utilise their Development Contribution Plan titled *Section 94 Development Control Plan No. 1 – Traffic Generating Development 2011*.

The development will generate traffic, but the plan does not apply to the particular type of development subject of the application.

### ***3.3.3 Public Exhibition***

At Council's discretion, it will be determined if Public Exhibition is required for the proposed development.

### ***3.3.4 Council Related Development Applications***

Pursuant to Section 30 of the *Environmental Planning and Assessment Regulation 2021*, to eliminate any real or perceived conflict of interest, the Council advises that this development application will be assessed by a third-party planning consultant with their report considered and the application determined by the Local Planning Panel.

In accordance with Schedule 1, Part 1, Division 2, Section 9B of the *Environmental Planning and Assessment Act 1979*, the application will be publicly exhibited for a minimum of 28 days.



## 4.0 Conclusion

This report has been prepared on behalf of **Gwydir Shire Council** for the purposes of supporting a Development Application for Development Consent for a proposed Community Facility and Office Premises at 33 - 35 Maitland Street on land described as Part of Lot 20, Section 38 DP758111, Lot 1 DP87721 and Lots A, B and C on DP156383 and, 37 Maitland Street described as Part of Lot A DP152922 (BK1566 No 614 Right of Way), and 39 Maitland Street, described as Part Lot 1 DP209422 (BK1701 No 95 Right of Way), Bingara NSW 2404.

The proposed development comprises:

- Demolition of the existing buildings and ancillary infrastructure at 33-35 Maitland Street (subject to Development Consent DA24/2023), excluding the façade of the Soldiers Memorial Building which is to be retained;
- Community facility (~ 338m<sup>2</sup> GFA) comprising:
  - Community forecourt and greenspace;
  - Visitor information centre;
  - Public amenities;
  - Community/councillors meeting room;
  - Customer Service Centres;
  - Mayor office and
  - Council Chambers.
- Office premises (~ 766m<sup>2</sup> GFA) comprising:
  - Centrelink office and quiet space;
  - Staff recreation and collaborative areas;
  - Offices and meeting rooms,
  - IT Hub;
  - Gwydir News Office; and
  - Breakout area.
- Landscaping;
- Twenty-two (22) carparking spaces including fifteen (15) which are being formalised in the Council depot;
- Delivery bay; and
- Vehicular access via a Right of Way from Cunningham Street.

This report has been prepared in accordance with Section 24 of the *Environmental Planning and Assessment Regulation 2021* (the Regulation) to accompany an Application for Development Consent to be submitted to Gwydir Shire Council. The report assesses the proposed development with regard to the applicable Assessment Requirements. It is considered the proposed development generally complies with the Assessment Requirements or it can be conditioned to comply. As such, this report recommends consent be granted under Clause 4.16 of the Act.

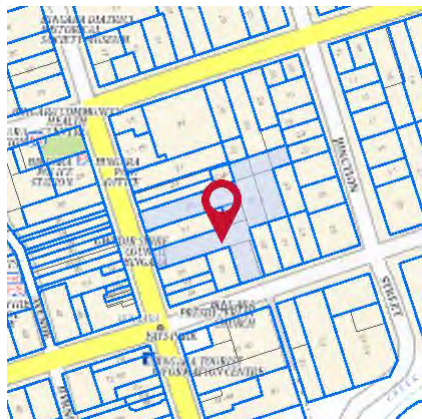


## APPENDIX 1 – Property Reports



# Property Report

33 MAITLAND STREET BINGARA 2404



## Property Details

Address:	33 MAITLAND STREET BINGARA 2404		
Lot/Section	1/-/DP731035	1/-/DP732576	18/-/DP1126638
/Plan No:	2/-/DP739350	20/38/DP758111	3/-/DP732576
	B/-/DP156383	B/-/DP156384	B/-/DP404670
	C/-/DP156384		
Council:	GWYDIR SHIRE COUNCIL		

## Summary of planning controls

Planning controls held within the Planning Database are summarised below. The property may be affected by additional planning controls not outlined in this report. Please contact your council for more information.

Local Environmental Plans	Gwydir Local Environmental Plan 2013 (pub. 30-8-2013)
Land Zoning	RU5 - Village: (pub. 24-2-2023)
Height Of Building	NA
Floor Space Ratio	NA
Minimum Lot Size	550 m <sup>2</sup>
Heritage	NA
Land Reservation Acquisition	NA
Foreshore Building Line	NA

## Detailed planning information

### State Environmental Planning Policies which apply to this property

State Environmental Planning Policies can specify planning controls for certain areas and/or types of development. They can also identify the development assessment system that applies and the type of environmental assessment that is required.

This report provides general information only and does not replace a Section 10.7 Certificate (formerly Section 149)



# Property Report

33 MAITLAND STREET BINGARA 2404

- State Environmental Planning Policy (Biodiversity and Conservation) 2021: Allowable Clearing Area (pub. 21-10-2022)
- State Environmental Planning Policy (Biodiversity and Conservation) 2021: Land Application (pub. 2-12-2021)
- State Environmental Planning Policy (Biodiversity and Conservation) 2021: Subject Land (pub. 2-12-2021)
- State Environmental Planning Policy (Exempt and Complying Development Codes) 2008: Land Application (pub. 12-12-2008)
- State Environmental Planning Policy (Housing) 2021: Land Application (pub. 26-11-2021)
- State Environmental Planning Policy (Industry and Employment) 2021: Land Application (pub. 2-12-2021)
- State Environmental Planning Policy (Planning Systems) 2021: Land Application (pub. 2-12-2021)
- State Environmental Planning Policy (Primary Production) 2021: Land Application (pub. 2-12-2021)
- State Environmental Planning Policy (Resilience and Hazards) 2021: Land Application (pub. 2-12-2021)
- State Environmental Planning Policy (Resources and Energy) 2021: Land Application (pub. 2-12-2021)
- State Environmental Planning Policy (Sustainable Buildings) 2022: Land Application (pub. 29-8-2022)
- State Environmental Planning Policy (Transport and Infrastructure) 2021: Land Application (pub. 2-12-2021)
- State Environmental Planning Policy No 65—Design Quality of Residential Apartment Development: Land Application (pub. 26-7-2002)

## Other matters affecting the property

Information held in the Planning Database about other matters affecting the property appears below. The property may also be affected by additional planning controls not outlined in this report. Please speak to your council for more information

1.5 m Buffer around Classified Roads	Classified Road Adjacent
Land near Electrical Infrastructure	This property may be located near electrical infrastructure and could be subject to requirements listed under ISEPP Clause 45. Please contact Essential Energy for more information.
Local Aboriginal Land Council	ANAIWAN
Regional Plan Boundary	New England North West

This report provides general information only and does not replace a Section 10.7 Certificate (formerly Section 149)



# Property Report

35 MAITLAND STREET BINGARA 2404



## Property Details

Address: 35 MAITLAND STREET BINGARA 2404  
Lot/Section 1/-/DP87721  
/Plan No:  
Council: GWYDIR SHIRE COUNCIL

## Summary of planning controls

Planning controls held within the Planning Database are summarised below. The property may be affected by additional planning controls not outlined in this report. Please contact your council for more information.

Local Environmental Plans	Gwydir Local Environmental Plan 2013 (pub. 30-8-2013)
Land Zoning	RU5 - Village: (pub. 24-2-2023)
Height Of Building	NA
Floor Space Ratio	NA
Minimum Lot Size	550 m <sup>2</sup>
Heritage	NA
Land Reservation Acquisition	NA
Foreshore Building Line	NA

## Detailed planning information

### State Environmental Planning Policies which apply to this property

State Environmental Planning Policies can specify planning controls for certain areas and/or types of development. They can also identify the development assessment system that applies and the type of environmental assessment that is required.

This report provides general information only and does not replace a Section 10.7 Certificate (formerly Section 149)





# Property Report

35 MAITLAND STREET BINGARA 2404

- State Environmental Planning Policy (Biodiversity and Conservation) 2021: Allowable Clearing Area (pub. 21-10-2022)
- State Environmental Planning Policy (Biodiversity and Conservation) 2021: Land Application (pub. 2-12-2021)
- State Environmental Planning Policy (Biodiversity and Conservation) 2021: Subject Land (pub. 2-12-2021)
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- State Environmental Planning Policy (Primary Production) 2021: Land Application (pub. 2-12-2021)
- State Environmental Planning Policy (Resilience and Hazards) 2021: Land Application (pub. 2-12-2021)
- State Environmental Planning Policy (Resources and Energy) 2021: Land Application (pub. 2-12-2021)
- State Environmental Planning Policy (Sustainable Buildings) 2022: Land Application (pub. 29-8-2022)
- State Environmental Planning Policy (Transport and Infrastructure) 2021: Land Application (pub. 2-12-2021)
- State Environmental Planning Policy No 65—Design Quality of Residential Apartment Development: Land Application (pub. 26-7-2002)

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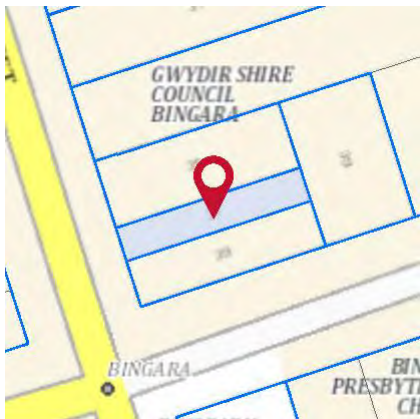
1.5 m Buffer around Classified Roads	Classified Road Adjacent
Land near Electrical Infrastructure	This property may be located near electrical infrastructure and could be subject to requirements listed under ISEPP Clause 45. Please contact Essential Energy for more information.
Local Aboriginal Land Council	ANAIWAN
Regional Plan Boundary	New England North West

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# Property Report

37 MAITLAND STREET BINGARA 2404



## Property Details

Address: 37 MAITLAND STREET BINGARA 2404  
Lot/Section A/-/DP152922  
/Plan No:  
Council: GWYDIR SHIRE COUNCIL

## Summary of planning controls

Planning controls held within the Planning Database are summarised below. The property may be affected by additional planning controls not outlined in this report. Please contact your council for more information.

Local Environmental Plans	Gwydir Local Environmental Plan 2013 (pub. 30-8-2013)
Land Zoning	RU5 - Village: (pub. 24-2-2023)
Height Of Building	NA
Floor Space Ratio	NA
Minimum Lot Size	550 m <sup>2</sup>
Heritage	NA
Land Reservation Acquisition	NA
Foreshore Building Line	NA

## Detailed planning information

### State Environmental Planning Policies which apply to this property

State Environmental Planning Policies can specify planning controls for certain areas and/or types of development. They can also identify the development assessment system that applies and the type of environmental assessment that is required.

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# Property Report

37 MAITLAND STREET BINGARA 2404

- State Environmental Planning Policy (Biodiversity and Conservation) 2021: Allowable Clearing Area (pub. 21-10-2022)
- State Environmental Planning Policy (Biodiversity and Conservation) 2021: Land Application (pub. 2-12-2021)
- State Environmental Planning Policy (Biodiversity and Conservation) 2021: Subject Land (pub. 2-12-2021)
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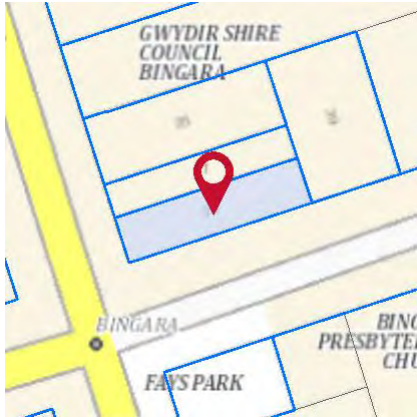
1.5 m Buffer around Classified Roads	Classified Road Adjacent
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Local Aboriginal Land Council	ANAIWAN
Regional Plan Boundary	New England North West

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# Property Report

39 MAITLAND STREET BINGARA 2404



## Property Details

Address: 39 MAITLAND STREET BINGARA 2404  
Lot/Section 1/-/DP209422  
/Plan No:  
Council: GWYDIR SHIRE COUNCIL

## Summary of planning controls

Planning controls held within the Planning Database are summarised below. The property may be affected by additional planning controls not outlined in this report. Please contact your council for more information.

Local Environmental Plans	Gwydir Local Environmental Plan 2013 (pub. 30-8-2013)
Land Zoning	RU5 - Village: (pub. 24-2-2023)
Height Of Building	NA
Floor Space Ratio	NA
Minimum Lot Size	550 m <sup>2</sup>
Heritage	NA
Land Reservation Acquisition	NA
Foreshore Building Line	NA

## Detailed planning information

### State Environmental Planning Policies which apply to this property

State Environmental Planning Policies can specify planning controls for certain areas and/or types of development. They can also identify the development assessment system that applies and the type of environmental assessment that is required.

This report provides general information only and does not replace a Section 10.7 Certificate (formerly Section 149)



# Property Report

39 MAITLAND STREET BINGARA 2404

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- State Environmental Planning Policy (Biodiversity and Conservation) 2021: Subject Land (pub. 2-12-2021)
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Regional Plan Boundary	New England North West

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FOR NOW AND FOR THE FUTURE

## APPENDIX 2 – NABERS Embodied Emissions Materials Form



Step 1: About the building

Fill out blue cells

Building location and site data	Value	Unit	Note	Comment
Building address	33-35 Maitland Street			
Postcode	2404		Required	Postcode of building
Town/city	Bingara		Town/city/suburb/region automated from postcode (may not give exact town name)	Town/city/suburb/region of the building site.
Distance to nearest major city/town	151	km	Enter for rural/regional locations only	Declare the shortest route by road to your site from the centre of your nearest major city (>100,000 people). The route must be traversable by a semitrailer truck.
Project stage	Development Application		Required	Stage of development
New build or major renovation?	New build		Required	
Brownfield or greenfield site?	Greenfield		Required	

Floor area by NCC building classification	Gross (GFA)	Net (NLA/NSA/UFA)	Unit	Note	
Please enter all floor areas relevant to your building. Leave areas blank if not applicable. Please enter Gross Floor Area (GFA) for all building classifications. Please also enter the corresponding net area (Net Lettable Area, Net Sellable Area or Usable Floor Area) where it is commonly used for that building classification.					
Class 1a: Detached residential buildings			m²	Required for Class 1a: Detached residential houses, townhouses	Gross Floor Area (GFA), as defined by the AIQS Australian Cost Management Manual
Class 1b: Boarding houses and hostels			m²	Required for Class 1b: Boarding house, guest house, hostel	Net area (Net Lettable Area, Net Sellable Area, Usable Floor Area), as defined by the PCA's Method of Measurement
Class 2: Multi-unit residential buildings			m²	Required for Class 2: Multi-unit residential, including apartment buildings	
Class 3: Other residential buildings			m²	Required for Class 3: Other residential buildings	
Class 4: Residential inside non-residential			m²	Required for Class 4: Residential building inside a non-residential building, e.g., caretaker residence	
Class 5: Office buildings	1,098	685	m²	Required for Class 5: Office building	
Class 6: Retail buildings			m²	Required for Class 6: Retail building, e.g., shop, restaurant, café	
Class 7a: Carparks			m²	Required for Class 7a: Carparks	
Class 7b: Warehouse-type buildings			m²	Required for Class 7b: Warehouses, wholesalers and storage facilities	
Class 8: Industrial buildings			m²	Required for Class 8: Industrial buildings, e.g., factories and workshops	
Class 9a: Healthcare buildings			m²	Required for Class 9a: Healthcare, e.g., hospitals, clinics, day surgeries	
Class 9b: Civic buildings			m²	Required for Class 9b: Civic buildings, e.g., theatres, civic centres, train stations	
Class 9c: Aged care and personal care buildings			m²	Required for Class 9c: Aged care and personal care	
Class 10a: Non-habitable buildings			m²	Required for Class 10a: Non-habitable buildings including sheds, carports and private garages	
Class 10b: Miscellaneous structures			m²	Required for Class 10b: Miscellaneous structures, including fences, masts, antennas, retaining walls and swimming pools	
Class 10c: Bushfire shelters			m²	Required for Class 10c: Bushfire shelters not attached to a Class 1a building	
Total	1,098	685	m²	Required: Sum of m² inputs must be more than 0.	

Project information	Value	Unit	Note	
Total cost of project	6,000,000	AUD excl. GST	Required	Include labour, materials, transport, plant, equipment and professional fees. Exclude GST, land, finance, escalation and other costs.
Building design life	50	years	Required	If uncertain, enter 50 years
Estimated envelope life		years	Optional	
Estimated replacement cycle for mechanical services		years	Optional	
Estimated replacement cycle for vertical transportation		years	Optional	

Dimensions of the building and the site	Value	Unit	Note	
Site area	2,910	m²	Required	Total area of site to external boundary.
Shared services or infrastructure	Yes		Required	Indicate if there are shared services that the building utilises, or shared foundations, basement or podium
Building footprint area	1,098	m²	Required	Total floor area of the ground floor measured to the outside edge of the floorplate.
Typical floor area (if different to building footprint area)		m²	Only needed if different to row above	
Typical floor perimeter	200	m	Required	
Area of external carpark (not included in GFA)	1,120	m²	Required. Enter 0 if not applicable.	
Area of external hardstand (not included in GFA)	0	m²	Required. Enter 0 if not applicable.	
Area of other hard landscaping (not included in GFA)	578	m²	Required. Enter 0 if not applicable.	Include all other impervious areas. For example, patios, paths and driveways (not already included in carparks and hardstands above).
Number of floors/storeys above ground, including ground floor	1	no.	Required	
Number of floors/storeys below ground	0	no.	Required. Enter 0 if not applicable.	
Number of floors/storeys of car parking	0	no.	Required. Enter 0 if not applicable.	
Total height above ground	6,080	m	Required	Measured from the average finished grade to the highest point of the building, excluding protrusions (lighting rods, masts, chimneys, etc.)

Structural material choices	Value	Unit	Note	
Foundation type	Slab-on-ground		Required	
Frame type (dominant)	Hybrid: Steel, reinforced concrete		Required	
Suspended floor type (typical)			Only needed for multi-storey buildings	
Describe low carbon materials specified in your building (e.g. green concrete, low carbon bricks)	timber, green concrete		Required	
Describe recycled content specified in your building (e.g. recycled steel)	Recycled & salvaged brick and timber, retention and rectifica		Required	

Step 2: Quantity of materials

Complete all blue cells that are applicable to the building. Leave items that aren't applicable blank.

Fill out blue cells

Material category	Sub-category 1	Value	Unit of measure	Comment	AIQS ACMM Code	ICMS3 (Level 3 Codes Construction)
Structure						
The structural parts of the building that are below ground (substructure) and above ground (superstructure). This includes fill below the substructure, foundations, basement levels, suspended floors, wall structure, roof structure, stairs, lift shafts and balconies. It excludes external areas such as hardstands, carmarks, patios, etc.						
Coverage of structural material spend	-		%	Required. Coverage of spend for structural elements entered below. Minimum requirement = 80%. Exclude head contractor preliminaries and margins.		
Concrete in-situ	≤10 MPa		m³	Please enter reinforcing steel as part of "Reinforcing steel" below	01_SB or 02-11	02 or 03
Concrete in-situ	>10 MPa to ≤20 MPa		m³	Please enter reinforcing steel as part of "Reinforcing steel" below	01_SB or 02-11	02 or 03
Concrete in-situ	>20 MPa to ≤32 MPa		m³	Please enter reinforcing steel as part of "Reinforcing steel" below	01_SB or 02-11	02 or 03
Concrete in-situ	>32 MPa to ≤40 MPa	151.0	m³	Please enter reinforcing steel as part of "Reinforcing steel" below	01_SB or 02-11	02 or 03
Concrete in-situ	>40 MPa to ≤50 MPa		m³	Please enter reinforcing steel as part of "Reinforcing steel" below	01_SB or 02-11	02 or 03
Concrete in-situ	>50 MPa to ≤60 MPa		m³	Please enter reinforcing steel as part of "Reinforcing steel" below	01_SB or 02-11	02 or 03
Concrete in-situ	>60 MPa to ≤80 MPa		m³	Please enter reinforcing steel as part of "Reinforcing steel" below	01_SB or 02-11	02 or 03
Concrete in-situ	>80 MPa to ≤100 MPa		m³	Please enter reinforcing steel as part of "Reinforcing steel" below	01_SB or 02-11	02 or 03
Concrete in-situ	>100 MPa		m³	Please enter reinforcing steel as part of "Reinforcing steel" below	01_SB or 02-11	02 or 03
Concrete pre-cast panel	-	96.1	m³	Please enter reinforcing steel in relevant line items below. If not known at DA stage, please make your best estimate. If not known at CC stage, please ask your supplier.	01_SB or 02-11	02 or 03
Concrete block	Hollow core		m³	Enter as <u>cubic metres</u> , calculated as (area in m²) * (thickness in mm / 1000). Please include all block fill concrete and all reinforcing steel in relevant line items above/below.	01_SB	02 or 03
Concrete block/brick	Solid		m³	Enter as <u>cubic metres</u> , calculated as (area in m²) * (thickness in mm / 1000)	01_SB	02 or 03
Concrete block/brick	Solid AAC		m³	Solid Aerated Autoclaved Concrete (AAC) block. Enter as <u>cubic metres</u> , calculated as (area in m²) * (thickness in mm / 1000).	01_SB	02 or 03
Mortar	-		kg		01_SB	02 or 03
Reinforcing steel	Bar & mesh	29,515	kg	<b>Include all reinforcing steel bar/mesh in the building's structure in this row.</b> Usually this is calculated as kg/m³ per concrete element and then summed. Example: 10 m³ of 40 MPa concrete @ 100 kg/m³ + 5 m³ of 50 MPa concrete @ 150 kg/m³ = 1,750 kg reinforcing steel.	01_SB or 02-11	02 or 03
Reinforcing steel	Fibre & strand		kg	<b>Include all steel fibre reinforcing and steel strand in the building's structure in this row.</b>	01_SB or 02-11	02 or 03
Structural steel	Hot rolled structural	27	t	Examples include universal beams, universal columns and welded beams	01_SB	02 or 03
Structural steel	Cold formed structural	46	t	Examples include C purlins, Z purlins and all light gauge steel framing	01_SB	02 or 03
Structural steel	Other welded structural		t		01_SB	02 or 03
Structural steel	Plate	1	t	Include any allowance for connections here	01_SB	02 or 03
Structural steel	Sheet		t		01_SB	02 or 03
Stainless steel	-		t	Primarily for engineered timber structure connections	02_11	02 or 03
Reinforced concrete piles	Concrete	11	m³	Please enter reinforcing steel in the line below. If not known at DA stage, please make your best estimate. If not known at CC stage, please ask your supplier.	01_SB	02 or 03
Reinforced concrete piles	Steel reinforcing	11	kg	If not known at DA stage, please make your best estimate. If not known at CC stage, please ask your supplier.	01_SB	02 or 03
Steel piles	-		t	Where concrete and reinforcing steel are also used, enter these in the rows above.	01_SB	02 or 03
Timber poles/piles	-		m³	Where concrete and reinforcing steel are also used, enter these in the rows above.	01_SB	02 or 03
Timber (solid)	Sawn softwood		m³		02_11	02 or 03
Timber (solid)	Sawn hardwood		m³		02_11	02 or 03
Timber (engineered)	CLT		m³		02_11	02 or 03
Timber (engineered)	Glulam		m³		02_11	02 or 03
Timber (engineered)	LVL		m³		02_11	02 or 03
Timber (engineered)	OSB		m³	Enter as <u>cubic metres</u> , calculated as (area of wall in m²) * (thickness in mm / 1000)	02_11	02 or 03
Brick	Heat cured		m³	Enter as <u>cubic metres</u> , calculated as (area of wall in m²) * (thickness in mm / 1000)	02_11	02 or 03
Structural Insulated Panel (SIP)	Steel outer		m²		01_SB	02 or 03
Structural Insulated Panel (SIP)	Aluminium outer		m²		01_SB	02 or 03
Structural Insulated Panel (SIP)	Engineered timber outer		m²		01_SB	02 or 03
Fill	-		t	Include purchased material only. Exclude site-won material.	01_SB	01
Sand & gravel	-	84	t	Include purchased material only. Exclude site-won material and sand/gravel in concrete.	01_SB	01
Waterproofing membrane	Bituminous		m²		01_SB	01 or 02 or 03
Waterproofing membrane	Polyethylene	1,055	m²		01_SB	01 or 02 or 03
Other structural (Describe and add unit >>)				Please enter a description for any structural material that does not fit a predefined classification		
Other structural (Describe and add unit >>)				Please enter a description for any structural material that does not fit a predefined classification		
Other structural (Describe and add unit >>)				Please enter a description for any structural material that does not fit a predefined classification		

Envelope

The skin of the building that separates the internal building from the external environment. This includes the roof cladding, wall cladding, windows, doors and internal/external shading. It also includes insulation and the internal wall lining of envelope walls.

Coverage of envelope material spend		-	80	%	Required. Coverage of spend for the envelope items you have entered below. Minimum requirement = 80%. Exclude head contractor preliminaries and margins.		
Roof cladding	Profiled steel	1,330	m²		Enter as m² of roof area. Exclude allowances for overlap in the roofing sheets. This row includes all metal-coated and pre-painted steel sheets where steel is the base metal. Examples include: galvanised steel, zinc-aluminium (zincalume) coated steel and zinc-aluminium-magnesium (ZAM) coated steel, whether painted or unpainted.	05_RF	03 or 04
Roof cladding	Profiled aluminium		m²		Enter as m² of roof area. Exclude allowances for overlap in the roofing sheets. This row also includes pre-painted aluminium sheets.	05_RF	03 or 04
Roof cladding	Profiled zinc		m²		Enter as m² of roof area. Exclude allowances for overlap in the roofing sheets. This row also includes pre-painted zinc sheets.	05_RF	03 or 04
Roof cladding	Membrane		m²		Enter as m² of roof area. Exclude allowances for overlap in the membrane sheets.	05_RF	03 or 04
Roof cladding	Tiles (traditional clay)		m²		Enter as m² of roof area. Exclude allowances for overlap between the tiles.	05_RF	03 or 04
Roof cladding	Tiles (concrete)		m²		Enter as m² of roof area. Exclude allowances for overlap between the tiles.	05_RF	03 or 04
Roof cladding	Other (Please describe >>)		m²		Please enter a description for any roofing that does not fit a predefined classification	05_RF	03 or 04
Wall cladding	Bricks (heat cured)		m²		Enter as m² of wall area. Heat-cured bricks use a kiln or furnace to raise the brick temperature above ambient temperature during curing process.	06_EW	03 or 04
Wall cladding	Bricks (air dried)		m²		Enter as m² of wall area. Air-dried bricks are cured using ambient temperature.	06_EW	03 or 04
Wall cladding	Bricks (under fired)		m²		Enter as m² of wall area.	06_EW	03 or 04
Wall cladding	Bricks (concrete)		m²		Enter as m² of wall area	06_EW	03 or 04
Wall cladding	Mortar and render		kg			06_EW	03 or 04
Wall cladding	Profiled steel	300	m²		Enter as m² of wall area. Exclude allowances for overlap in the cladding sheets, offcuts, etc. This row includes all metal-coated and pre-painted steel sheets where steel is the base metal. Examples include: galvanised steel, zinc-aluminium (zincalume) coated steel and zinc-aluminium-magnesium (ZAM) coated steel, whether painted or unpainted.	06_EW	03 or 04
Wall cladding	Profiled aluminium		m²		Enter as m² of wall area. Exclude allowances for overlap in the cladding sheets, offcuts, etc. This row also includes pre-painted aluminium sheets.	06_EW	03 or 04
Wall cladding	Profiled zinc		m²		Enter as m² of wall area. Exclude allowances for overlap in the cladding sheets, offcuts, etc. This row also includes pre-painted zinc sheets.	06_EW	03 or 04
Wall cladding	GRC cladding		m²		Enter as m² of wall area. GRC = Glass Reinforced Concrete.	06_EW	03 or 04
Wall cladding	Timber weatherboards		m²		Enter as m² of wall area. Exclude allowances for overlap between weatherboards, offcuts, etc.	06_EW	03 or 04
Wall cladding	Fibre cement board	237	m²		Enter as m² of wall area. Exclude allowances for offcuts, etc.	06_EW	03 or 04
Wall cladding	Terracotta		m²		Enter as m² of wall area. Exclude allowances for offcuts, etc.	06_EW	03 or 04
Wall cladding	Brick tiles / veneers		m²		Enter as m² of wall area. Exclude allowances for offcuts, etc.	06_EW	03 or 04
Wall cladding	Plasterboard	2,450	m²		Enter as m² of wall area. Exclude allowances for offcuts, etc. Include both external wall linings and internal wall linings for envelope walls.	12_WF or 06_EW	03 or 04
Wall cladding	Plywood		m²		Enter as m² of wall area. Exclude allowances for offcuts, etc. Include both external wall linings and internal wall linings for envelope walls.	12_WF or 06_EW	03 or 04
Wall cladding	Other (Please describe >>)		m²		Please enter a description for any wall cladding that does not fit a predefined classification	06_EW or 12_WF	03 or 04
Windows & doors	Aluminium frame	258	m²		Include all single glazing, including standard, toughened, laminated and low-E	07_WW or 08_ED	03 or 04
Windows & doors	Aluminium frame		m²		Include all double glazing, including standard, toughened, laminated and low-E	07_WW or 08_ED	03 or 04
Windows & doors	Aluminium frame		m²		Include all triple glazing, including standard, toughened, laminated and low-E	07_WW or 08_ED	03 or 04
Windows & doors	Timber frame		m²		Include all single glazing, including standard, toughened, laminated and low-E	07_WW or 08_ED	03 or 04
Windows & doors	Timber frame		m²		Include all double glazing, including standard, toughened, laminated and low-E	07_WW or 08_ED	03 or 04
Windows & doors	Timber frame		m²		Include all triple glazing, including standard, toughened, laminated and low-E	07_WW or 08_ED	03 or 04
Windows & doors	uPVC frame		m²		Include all single glazing, including standard, toughened, laminated and low-E	07_WW or 08_ED	03 or 04
Windows & doors	uPVC frame		m²		Include all double glazing, including standard, toughened, laminated and low-E	07_WW or 08_ED	03 or 04
Windows & doors	uPVC frame		m²		Include all triple glazing, including standard, toughened, laminated and low-E	07_WW or 08_ED	03 or 04
Windows & doors	Frameless		m²		Include all single glazing, including standard, toughened, laminated and low-E	07_WW or 08_ED	03 or 04
Windows & doors	Frameless		m²		Include all double glazing, including standard, toughened, laminated and low-E	07_WW or 08_ED	03 or 04
Windows & doors	Frameless		m²		Include all triple glazing, including standard, toughened, laminated and low-E	07_WW or 08_ED	03 or 04
Windows & doors	Other (Please describe >>)		m²		Please enter a description for any windows or doors that do not fit a predefined classification	07_WW or 08_ED	03 or 04
Curtain wall	Single skin façade		m²		Please declare all single-skin façade area in this section. All double-skin façade area should be entered in the next section. Include all single glazing, including standard, toughened, laminated and low-E	06_EW	03 or 04
Curtain wall	Single skin façade		m²		Include all double glazing, including standard, toughened, laminated and low-E	06_EW	03 or 04
Curtain wall	Single skin façade		m²		Include all triple glazing, including standard, toughened, laminated and low-E	06_EW	03 or 04
Curtain wall	Single skin façade		m²			06_EW	03 or 04
Curtain wall	Single skin façade		m²		GRC = Glass-fibre Reinforced Concrete	06_EW	03 or 04



Curtain wall	Single skin façade		m²		06_EW	03 or 04
Curtain wall	Single skin façade		m²		06_EW	03 or 04
Curtain wall	Single skin façade		m²		06_EW	03 or 04
Curtain wall	Double skin façade		m²	Please declare all double-skin façade area in this section. Please declare as the area of the curtain wall and do not enter the inner and outer skins twice. Include all single glazing, including standard, toughened, laminated and low-E.	06_EW	03 or 04
Curtain wall	Double skin façade		m²	The type of glazing refers to the building's envelope wall, not including the outer skin	06_EW	03 or 04
Curtain wall	Double skin façade		m²	The type of glazing refers to the building's envelope wall, not including the outer skin	06_EW	03 or 04
Curtain wall	Double skin façade		m²		06_EW	03 or 04
Curtain wall	Double skin façade		m²	GRC = Glass-fibre Reinforced Concrete	06_EW	03 or 04
Curtain wall	Double skin façade		m²		06_EW	03 or 04
Curtain wall	Double skin façade		m²		06_EW	03 or 04
Curtain wall	Double skin façade		m²		06_EW	03 or 04
Curtain wall	Other (Please describe >>)		m²	Please enter a description for any curtain wall that does not fit a predefined classification	06_EW	03 or 04
Stick-framed wall system	Aluminium frame		m²	Include all single glazing, including standard, toughened, laminated and low-E	06_EW	03 or 04
Stick-framed wall system	Aluminium frame		m²	Include all double glazing, including standard, toughened, laminated and low-E	06_EW	03 or 04
Stick-framed wall system	Aluminium frame		m²	Include all triple glazing, including standard, toughened, laminated and low-E	06_EW	03 or 04
Stick-framed wall system	Aluminium frame		m²		06_EW	03 or 04
Stick-framed wall system	Aluminium frame		m²	GRC = Glass-fibre Reinforced Concrete	06_EW	03 or 04
Stick-framed wall system	Aluminium frame		m²		06_EW	03 or 04
Stick-framed wall system	Aluminium frame		m²		06_EW	03 or 04
Stick-framed wall system	Aluminium frame		m²		06_EW	03 or 04
Stick-framed wall system	Steel frame		m²	Include all single glazing, including standard, toughened, laminated and low-E	06_EW	03 or 04
Stick-framed wall system	Steel frame		m²	Include all double glazing, including standard, toughened, laminated and low-E	06_EW	03 or 04
Stick-framed wall system	Steel frame		m²	Include all triple glazing, including standard, toughened, laminated and low-E	06_EW	03 or 04
Stick-framed wall system	Steel frame		m²		06_EW	03 or 04
Stick-framed wall system	Steel frame		m²	GRC = Glass-fibre Reinforced Concrete	06_EW	03 or 04
Stick-framed wall system	Steel frame		m²		06_EW	03 or 04
Stick-framed wall system	Steel frame		m²		06_EW	03 or 04
Stick-framed wall system	Steel frame		m²		06_EW	03 or 04
Stick-framed wall system	Steel frame		m²		06_EW	03 or 04
Stick-framed wall system	Other (Please describe >>)		m²	Please enter a description for any wall system that does not fit a predefined classification	06_EW	03 or 04
Wall louvre system	Aluminium		m²		06_EW	03 or 04
External shading system	Aluminium frame		m²	Please enter as m² of shaded area = linear metres * (width in mm / 1000)	06_EW	03 or 04
External shading system	Aluminium frame		m²	Please enter as m² of shaded area = linear metres * (width in mm / 1000). GRC = Glass-fibre Reinforced Concrete.	06_EW	03 or 04
External shading system	Aluminium frame		m²	Please enter as m² of shaded area = linear metres * (width in mm / 1000)	06_EW	03 or 04
External shading system	Aluminium frame		m²	Please enter as m² of shaded area = linear metres * (width in mm / 1000)	06_EW	03 or 04
External shading system	Aluminium frame		m²	Please enter as m² of shaded area = linear metres * (width in mm / 1000)	06_EW	03 or 04
External shading system	Aluminium frame		m²	Please enter as m² of shaded area = linear metres * (width in mm / 1000)	06_EW	03 or 04
External shading system	Aluminium frame		m²	Please enter as m² of shaded area = linear metres * (width in mm / 1000)	06_EW	03 or 04
External shading system	Other (Please describe >>)		m²	Please enter as m² of shaded area = linear metres * (width in mm / 1000)	06_EW	03 or 04
Roller doors	Steel profile	9	m²	Please note unit is <u>square metres</u> , not quantity	08_ED	03 or 04
Roller doors	Hardwood over steel		m²	Please note unit is <u>square metres</u> , not quantity	08_ED	03 or 04
Roller doors	Softwood over steel		m²	Please note unit is <u>square metres</u> , not quantity	08_ED	03 or 04
Revolving doors	Glass/aluminium/steel		no.		08_ED	03 or 04
Fire-rated doors	Engineered timber		no.	Please enter as single-leaf equivalent. For double-leaf doors, multiply the quantity by 2.	08_ED	03 or 04
Fire-rated doors	Steel		no.	Please enter as single-leaf equivalent. For double-leaf doors, multiply the quantity by 2.	08_ED	03 or 04
Fire-rated doors	Aluminium/glass		no.	Please enter as single-leaf equivalent. For double-leaf doors, multiply the quantity by 2.	08_ED	03 or 04
Insulation	Glass wool / fibreglass		m²	Please include both wall and ceiling insulation	05_RF or 06_EW	03 or 04
Insulation	Stone wool	4,041.0	m²	Please include both wall and ceiling insulation	05_RF or 06_EW	03 or 04
Insulation	Polyester		m²	Please include both wall and ceiling insulation	05_RF or 06_EW	03 or 04
Insulation	Expanded polystyrene		m²	Please include both wall and ceiling insulation	05_RF or 06_EW	03 or 04
Insulation	Other (Please describe >>)		m²	Please include both wall and ceiling insulation	05_RF or 06_EW	03 or 04
Other (Please describe and add unit >>)				Please enter a description for any envelope material that does not fit a predefined classification		
Other (Please describe and add unit >>)				Please enter a description for any envelope material that does not fit a predefined classification		
Other (Please describe and add unit >>)				Please enter a description for any envelope material that does not fit a predefined classification		

Permanent internal walls and doors

Walls and doors within the building that are either structural or designed to be permanent.

Coverage of material spend on permanent internal walls and doors		90	%	Enter the % coverage of <u>spend</u> for the items you have entered below. There is no minimum requirement: enter what you know. This should include all structural walls. Exclude head contractor preliminaries and margins.		
Interior wall (permanent)	Steel (light framing)		t	COUNTED IN STRUCTURAL STEEL LINE ITEM	09_NW	03 or 04
Interior wall (permanent)	Timber framing		m³		09_NW	03 or 04
Interior wall (permanent)	AAC panel (reinforced)		m²	Panels of autoclaved aerated concrete (AAC) with reinforcing steel. E.g., Hebel.	09_NW or 12_WF	03 or 04
Interior wall (permanent)	Concrete-filled steel panel		m²	Panels made from a steel sheet outer with an aerated concrete core. E.g., Speedpanel.	09_NW or 12_WF	03 or 04
Interior wall (permanent)	Plasterboard	1,959	m²	Enter as single-layer equivalent. If using 2 layers, multiply the area by 2.	09_NW or 12_WF	03 or 04
Interior wall (permanent)	Plywood		m²	Enter as single-layer equivalent. If using 2 layers, multiply the area by 2.	09_NW or 12_WF	03 or 04
Interior wall (permanent)	Fibre cement sheet	337.0	m²	Enter as single-layer equivalent. If using 2 layers, multiply the area by 2.	09_NW or 12_WF	03 or 04
Interior wall (permanent)	Insulation	2,296.0	m²		09_NW or 12_WF	03 or 04
Interior wall (permanent)	Glass	100.9	m²		09_NW or 12_WF	03 or 04
Interior wall (permanent)	Other (Please describe >>)		m²	Please enter a description for any internal wall that does not fit a predefined classification	09_NW or 12_WF	03 or 04
Internal door (permanent)	Aluminium/glass	38	no.	Please enter as single-leaf equivalent. For double-leaf doors, multiply the quantity by 2.	11_ND	03 or 04
Internal door (permanent)	Timber/glass		no.	Please enter as single-leaf equivalent. For double-leaf doors, multiply the quantity by 2.	11_ND	03 or 04
Internal door (permanent)	Timber solid lightweight	21	no.	Please enter as single-leaf equivalent. For double-leaf doors, multiply the quantity by 2.	11_ND	03 or 04
Internal door (permanent)	Fire resistant		no.	Please enter as single-leaf equivalent. For double-leaf doors, multiply the quantity by 2.	11_ND	03 or 04
Internal door (permanent)	Steel		no.	Please enter as single-leaf equivalent. For double-leaf doors, multiply the quantity by 2.	11_ND	03 or 04
Internal door (permanent)	Other (Please describe >>)		no.	Please enter a description for any internal door that does not fit a predefined classification	11_ND	03 or 04
Other (Please describe and add unit >>)				Please enter a description for any material that does not fit a predefined classification		
Other (Please describe and add unit >>)				Please enter a description for any material that does not fit a predefined classification		
Other (Please describe and add unit >>)				Please enter a description for any material that does not fit a predefined classification		

Services		Unit of measure				
Building services included <u>within the main building contract</u> . If the building components that are the subject of the development application or the construction certificate are base building only, then only enter these items. If you cannot split services by type, please enter them all in the "Other services" category at the bottom. Enter all values as						
Mechanical services	-	182,500	AUD excl. GST	Where possible, enter material costs excluding labour, plant, equipment, margins and taxes	28_SS	05
Vertical transportation	-		AUD excl. GST	Where possible, enter material costs excluding labour, plant, equipment, margins and taxes	28_SS	05
Electrical services	-	200,000	AUD excl. GST	Electrical services including the main power supply, backup generators, security and communications. Excluding solar installations. Where possible, enter material costs excluding labour, plant, equipment, margins and taxes.	26_LP	05
Solar photovoltaic installations	-		AUD excl. GST	Where possible, enter material costs excluding labour, plant, equipment, margins and taxes	26_LP_LPGP	05
Plumbing/hydraulic services	-	102000	AUD excl. GST	Where possible, enter material costs excluding labour, plant, equipment, margins and taxes	18_PD and 19_WS	05 or 06
Fire services		5,000	AUD excl. GST	Where possible, enter material costs excluding labour, plant, equipment, margins and taxes	25_FPSS04 or 39_XWAW_03 or 41_XF	05
Other services (Please describe)			AUD excl. GST	Please group all other services here, meaning that coverage will always be 100% for services. Enter only the material costs (excluding labour, plant, equipment, margins and taxes).	29_SS or multiple	

External works						
The materials associated with hard landscaping and outbuildings on the site but outside the building envelope. This includes hardstands, carparks, driveways, covered walkways, decks, patios, awnings, fences, gates, etc. Soft landscaping should be excluded.						
Coverage of spend on external works	-	80	%	Required. Coverage of <u>spend</u> for external works (excluding soft landscaping) entered below. Minimum requirement = 80%. Exclude head contractor preliminaries and margins.		
Asphalt	-		t		33_XR	07
Concrete in-situ	≤10 MPa		m³	Please enter reinforcing steel as part of "Reinforcing steel" below	33_XR or 34_XN or 35_XB or 36_XL	07
Concrete in-situ	>10 MPa to ≤20 MPa		m³	Please enter reinforcing steel as part of "Reinforcing steel" below	33_XR or 34_XN or 35_XB or 36_XL	07
Concrete in-situ	>20 MPa to ≤32 MPa	0.0	m³	Please enter reinforcing steel as part of "Reinforcing steel" below	33_XR or 34_XN or 35_XB or 36_XL	07
Concrete in-situ	>32 MPa to ≤40 MPa	169.5	m³	Please enter reinforcing steel as part of "Reinforcing steel" below	33_XR or 34_XN or 35_XB or 36_XL	07
Concrete in-situ	>40 MPa to ≤50 MPa		m³	Please enter reinforcing steel as part of "Reinforcing steel" below	33_XR or 34_XN or 35_XB or 36_XL	07
Concrete in-situ	>50 MPa		m³	Please enter reinforcing steel as part of "Reinforcing steel" below	33_XR or 34_XN or 35_XB or 36_XL	07
Pavers, bricks and blocks	Concrete		m²		33_XR	07
Pavers, bricks and blocks	Clay		m²		33_XR	07
Reinforcing steel	Bar & mesh	16,950	kg	Include all reinforcing steel bar/mesh in the external works in this row. Usually this is calculated as kg/m³ per concrete element and then summed. Example: 10 m³ of 40 MPa concrete @ 100 kg/m³ + 5 m³ of 50 MPa concrete @ 150 kg/m³ = 1,750 kg reinforcing steel.	33_XR or 34_XN or 35_XB or 36_XL	07
Reinforcing steel	Fibre & strand		kg	Include all steel fibre reinforcing and steel strand in the external works in this row.	33_XR or 34_XN or 35_XB or 36_XL	07
Structural steel	-		t		02_11	07
Structural aluminium	-		t	Includes structures, louvre systems, etc.	35_XB	07
External roof/wall cladding	Polycarbonate		m²	Enter as profiled polycarbonate sheet that would ordered, including allowance for overlap	35_XB	07
External roof/wall cladding	PVC		m²	Enter as profiled PVC sheet that would ordered, including allowance for overlap	35_XB	07
External roof/wall cladding	Bitumen sheet		m²	Enter as bituminous sheet that would ordered, including allowance for overlap	35_XB	07

External roof/wall cladding	Steel profile	106	m²	Enter as profiled steel sheet that would ordered, including allowance for overlap	35_XB	07
Fill	-		t	Include purchased material only. Exclude site-won material.	33_XR or 34_XN or 35_XB or 36_XL	07
Sand & gravel	-	68	t	Include purchased material only. Exclude site-won material and sand/gravel in concrete.	33_XR or 34_XN or 35_XB or 36_XL	07
Timber (solid)	Sawn softwood		m³		33_XR or 34_XN or 35_XB or 36_XL	07
Timber (solid)	Sawn hardwood		m³		33_XR or 34_XN or 35_XB or 36_XL	07
Timber (engineered)	CLT		m³		33_XR or 34_XN or 35_XB or 36_XL	07
Timber (engineered)	Glulam		m³		33_XR or 34_XN or 35_XB or 36_XL	07
Timber (engineered)	LVL		m³		33_XR or 34_XN or 35_XB or 36_XL	07
Timber (engineered)	OSB		m³		33_XR or 34_XN or 35_XB or 36_XL	07
Fabric (awning/sunshade)			m²		35_XB or 36_XL	07
Other (Please describe and add unit >>)				Please enter a description for any external works that does not fit a predefined classification		
Other (Please describe and add unit >>)				Please enter a description for any external works that does not fit a predefined classification		
Other (Please describe and add unit >>)				Please enter a description for any external works that does not fit a predefined classification		



Step 3: Certifier details

Fill out blue cells

The material quantities must be determined through an itemised list of building materials (such as a bill of quantities) and certified by a quantity surveyor, designer, engineer or NABERS Assessor.

Person that completed this form	Value	Note
Name	OWEN KLEIDON	Required
Company	STRUXI DESIGN	Required
ABN		
Profession	BUILDING DESIGNER - MEDIUM RISE	Required
Qualification or registration	QBCC 1080847	Required

Person that certified the details in this form	Value	Note
Name	OWEN KLEIDON	Required
Company	STRUXI DESIGN	Required
ABN		
Profession	BUILDING DESIGNER - MEDIUM RISE	Required
Qualification or registration	QBCC 1080847	Required

Confirmation of certification	Value	Note
Are 80% of material costs captured for the building's structure, envelope and external works?	Yes	Required
If no - why not?		

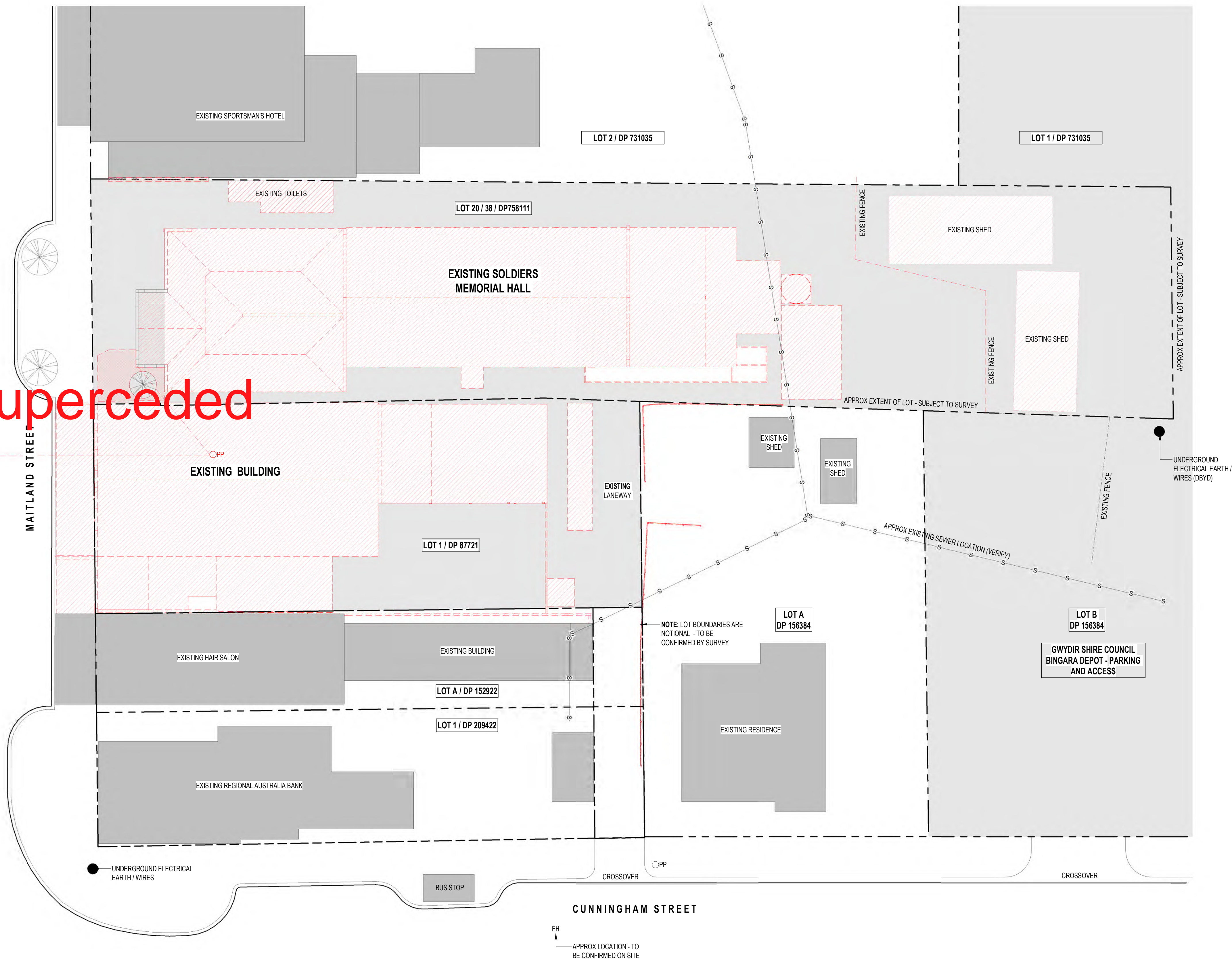
Additional comments from data provider

Additional comments of certifier

Attach this Excel spreadsheet to your development application or construction certificate application.

## APPENDIX 3 – Proposal Plans





1 : 200





# Plan superceded

# Plan superceded

1 : 200



FH  
↑  
— APPROX LOCATION - TO BE  
CONFIRMED ON SITE




CARPARK CALCULATIONS	
(REFER FLOOR PLAN FOR BUILDING USE ZONING)	
COMMUNITY FACILITIES (338m²)	
NO OFF STREET PARKING PROVIDED	
OFFICE PREMISES (766m²)	
OFF STREET PARKING PROVIDED @ 1 CARPARK / 30m²	25
NEW PARKING PROVIDED:	
STANDARD SPACES	6
PWD PARKING	1
EXISTING PARKING PROVIDED: (CUNNINGHAM ST ENTRY)	25
TOTAL PARKING PROVIDED	32
(NET PARKING CHANGE)	+7

Plan superceded



LOCALITY & PARKING PLAN  
1 : 500



STRUXI DESIGN PTY LTD  
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THIS SHEET MUST BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, SPECIFICATIONS, SCHEDULES AND THE LIKE.

**PROUD MEMBER OF THE BUILDING DESIGNERS ASSOCIATION OF QUEENSLAND SINCE 2005**  
MEMBER NUMBER: 730

ISSUE	DESCRIPTION	DATE
A	FOR DEVELOPMENT APPLICATION	02.11.2023

**PROJECT NAME**  
BINGARA ADMINISTRATION HUB

**STREET ADDRESS**  
33-35 MAITLAND ST  
BINGARA NSW 2404


**REAL PROPERTY DESCRIPTION**  
L1 DP87721  
L20 Section 38 DP758111

**CLIENT**  
GWYDIR SHIRE COUNCIL

**LOCALITY & PARKING PLAN**

<b>AUTHOR</b>	DOH
<b>DESIGNER</b>	OCK
<b>ORIGINAL SIZE</b>	594 x 841 - ISO A1
<b>PRINT DATE</b>	02-Nov-23 1:10:38 PM

**SCALE**  
REFERENCE ONLY, DO NOT SCALE DRAWINGS  
0 5m 10m 15m 20m 25m  
1:500

**AUTHORISATION**  
THIS DRAWING IS UNCONTROLLED WITHOUT DESIGNERS SIGNATURE BELOW  


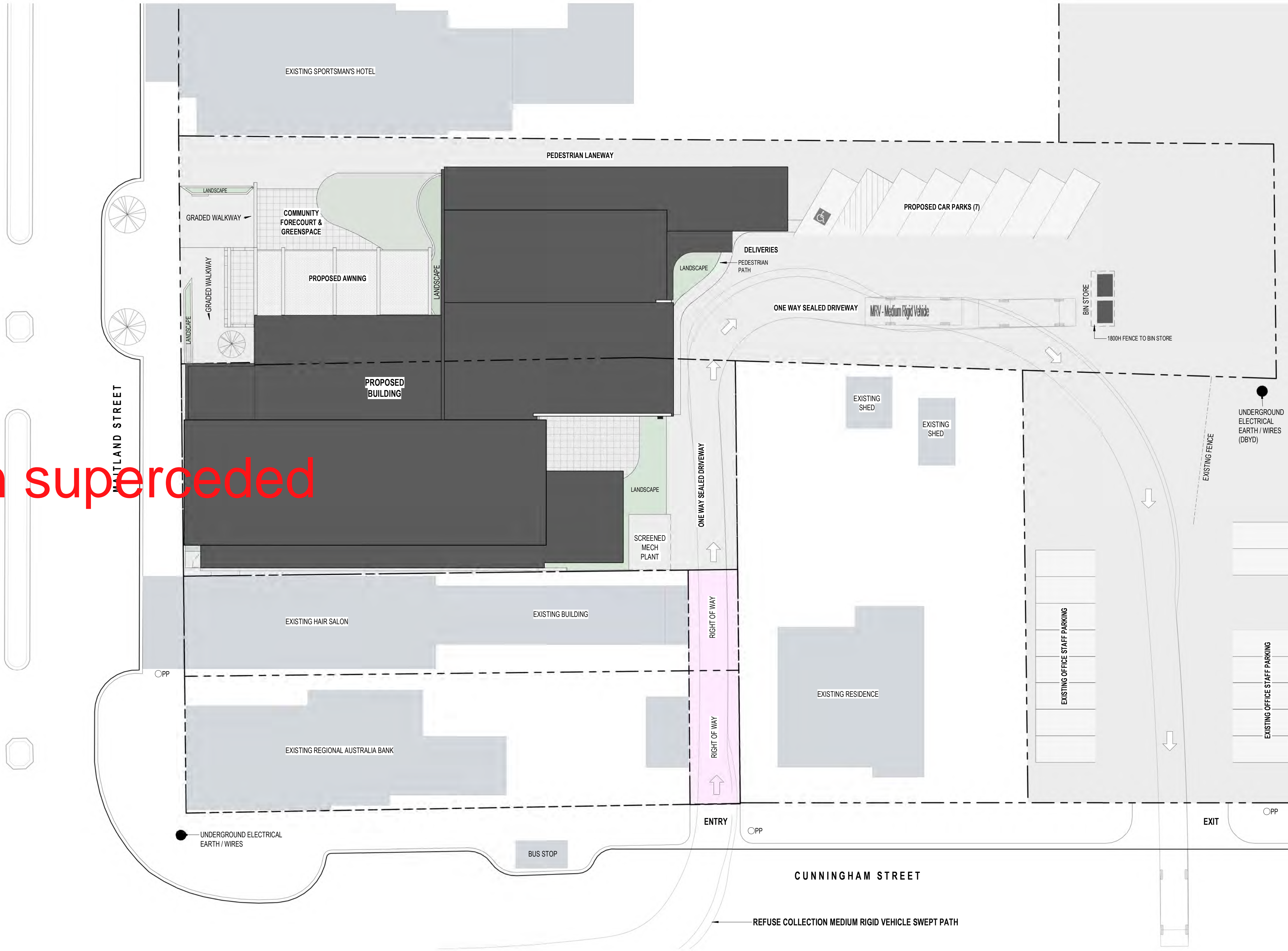
**USE**  
PRELIMINARY  
REFER TO 'USE DEFINITION' ABOVE

<b>DWG</b>	<b>PROJECT NO.</b>	<b>PHASE</b>	<b>SHEET NO.</b>	<b>ISSUE</b>
	231967	DA	003	A

**STRUXI DESIGN PTY LTD**



Plan superceded



VEHICLE ACCESS PLAN  
1:200



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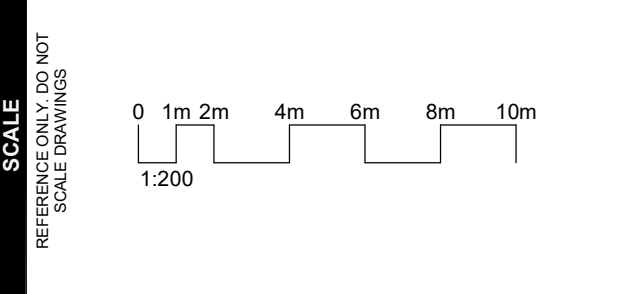


SHEET ISSUE HISTORY		
ISSUE	DESCRIPTION	DATE
A	FOR DEVELOPMENT APPLICATION	02.11.2023

PROJECT DETAILS	
<b>PROJECT NAME</b> BINGARA ADMINISTRATION HUB	
<b>STREET ADDRESS</b> 33-35 MAITLAND ST BINGARA NSW 2404	
<b>REAL PROPERTY DESCRIPTION</b> L1 DP87721 L20 Section 38 DP758111	
<b>CLIENT</b> GWYDIR SHIRE COUNCIL	

SHEET TITLE	
VEHICLE ACCESS PLAN	

SHEET DETAILS	
<b>AUTHOR</b>	DOH
<b>DESIGNER</b>	OCK
<b>ORIGINAL SIZE</b>	594 x 841 - ISO A1
<b>PRINT DATE</b>	02-Nov-23 1:10:49 PM



**AUTHORISATION**

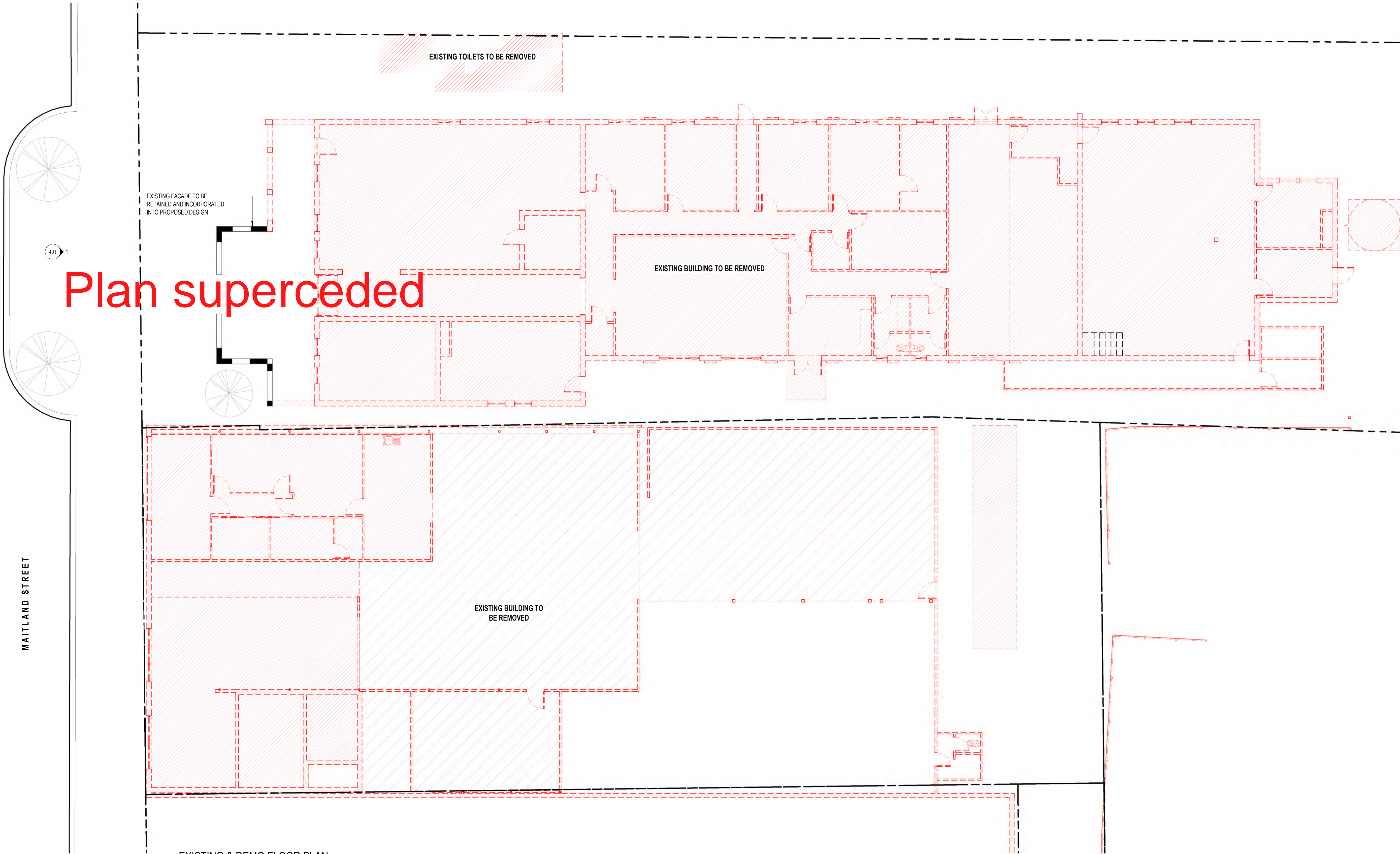
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PRELIMINARY			
REFER TO 'USE DEFINITION' ABOVE			
<b>DWG</b>	<b>PROJECT NO.</b>	<b>PHASE</b>	<b>SHEET NO.</b>
	231967	DA	004

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KEY	EXISTING
SYMBOL	DESCRIPTION
	EXISTING ELEMENTS TO BE DEMOLISHED
	EXISTING ELEMENTS TO BE RETAINED
	EXISTING HOSECOCK
	EXISTING GAS METER
	EXISTING COMMUNICATIONS POINT
	EXISTING REDUCED LEVEL



EXISTING & DEMO FLOOR PLAN  
1:100

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w | www.struxi.com.au

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**PROJECT NAME**

BINGARA ADMINISTRATION HUB

**STREET ADDRESS**

33-35 MAITLAND ST  
BINGARA NSW 2404

**REAL PROPERTY DESCRIPTION**

L1 DP87721  
L20 Section 38 DP758111

**CLIENT**

GWYDIR SHIRE COUNCIL

**PROJECT DETAILS**

AUTHOR	DOH
DESIGNER	OCK
ORIGINAL SIZE	594 x 841 - ISO A1
PRINT DATE	02-Nov-23 1:10:56 PM

**SHEET TITLE**

EXISTING & DEMO FLOOR PLAN

**SCALE**

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**USE**

PRELIMINARY

REFER TO 'USE DEFINITION' ABOVE

**DWG**

PROJECT NO.	PHASE	SHEET NO.	ISSUE
231967	DA	101	A

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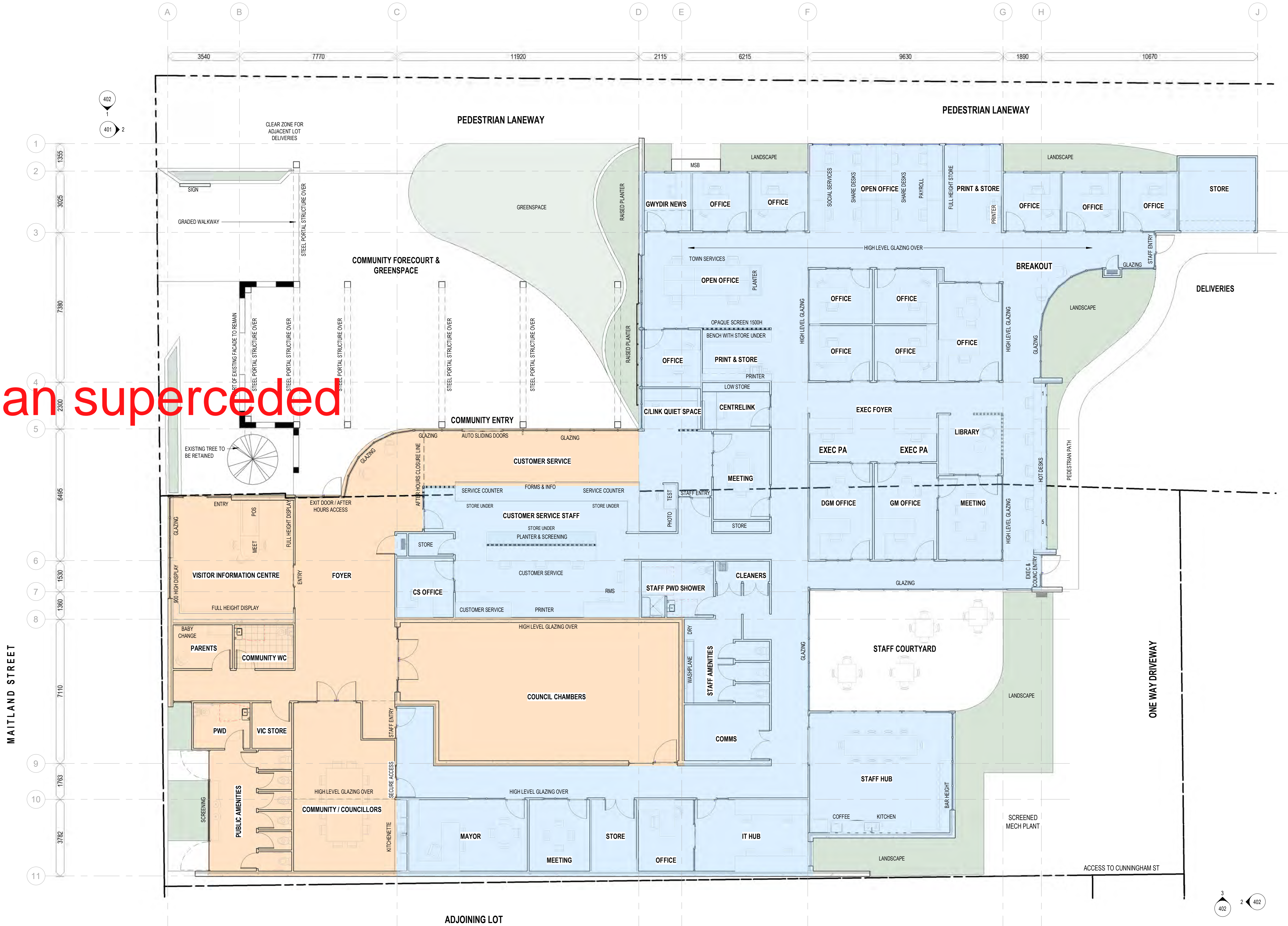


KEY	PROPOSED
SYMBOL	DESCRIPTION
	EXISTING WALL TO BE DEMOLISHED
	EXISTING WALLS TO REMAIN
	NEW WALL
	COMMUNITY FACILITIES (APPROX 338m²)
	OFFICE FACILITIES (APPROX 766m²)

AREA SCHEDULE	
NAME	AREA
MAIN BUILDING	1065 m²
STAFF COURTYARD	57 m²
COLONNADE	152 m²
PUBLIC AMENITIES	33 m²
GRAND TOTAL	1307 m²

ABBREVIATION LEGEND	
ABBREV.	TEXT
MSB	MAIN SWITCHBOARD

Plan superceded



PROPOSED FLOOR PLAN  
1:100



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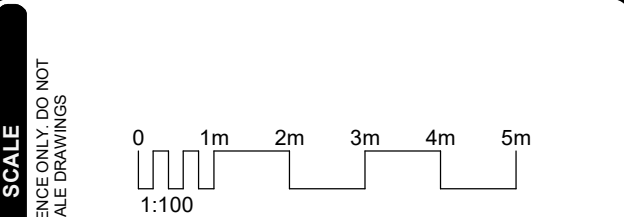


SHEET ISSUE HISTORY		
ISSUE	DESCRIPTION	DATE
A	FOR DEVELOPMENT APPLICATION	02.11.2023

PROJECT NAME	
BINGARA ADMINISTRATION HUB	
STREET ADDRESS	
33-35 MAITLAND ST BINGARA NSW 2404	
REAL PROPERTY DESCRIPTION	
L1 DP87721 L20 Section 38 DP758111	
CLIENT	
GWYDIR SHIRE COUNCIL	

## PROPOSED FLOOR PLAN

AUTHOR	DOH
DESIGNER	OCK
ORIGINAL SIZE	594 x 841 - ISO A1
PRINT DATE	02-Nov-23 1:11:04 PM



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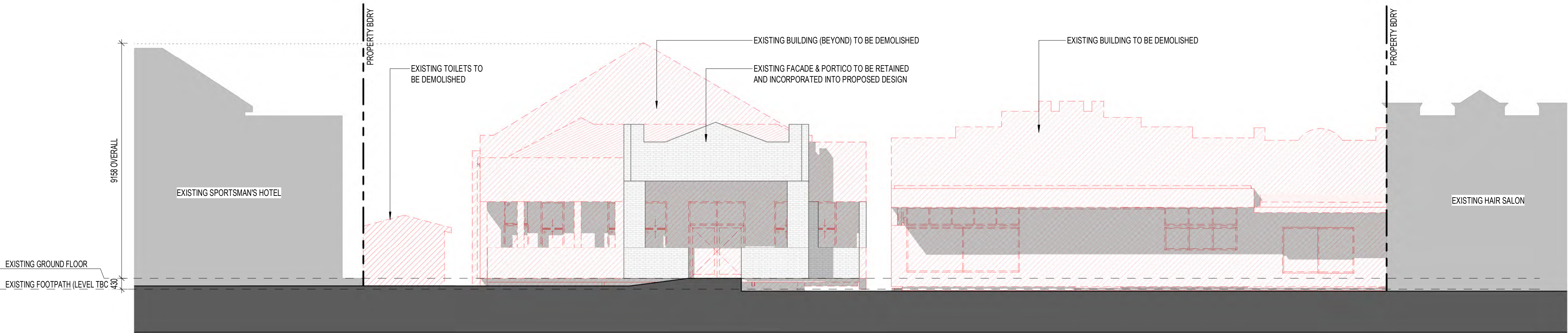
*Signature*

NORTH

PRELIMINARY			
REFER TO 'USE DEFINITION' ABOVE			
PROJECT NO.	PHASE	SHEET NO.	ISSUE
231967	DA	102	A

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1  
101  
EXISTING WEST ELEVATION - STREETSCAPE  
1:100

Plan superceded



2  
102  
PROPOSED WEST ELEVATION - STREETSCAPE  
1:100

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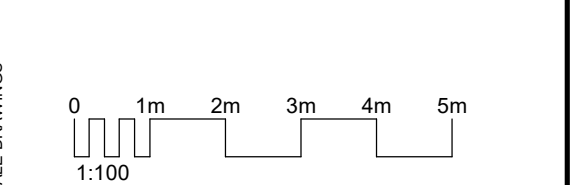
PROUD MEMBER OF THE  
BUILDING DESIGNERS  
ASSOCIATION OF  
QUEENSLAND SINCE 2005  
MEMBER NUMBER: 730

ISSUE	DESCRIPTION	DATE
A	FOR DEVELOPMENT APPLICATION	02.11.2023

PROJECT NAME	BINGARA ADMINISTRATION HUB
STREET ADDRESS	33-35 MAITLAND ST BINGARA NSW 2404
REAL PROPERTY DESCRIPTION	L1 DP87721 L20 Section 38 DP758111
CLIENT	GWYDIR SHIRE COUNCIL

**BUILDING ELEVATIONS**

AUTHOR	DOH
DESIGNER	OCK
ORIGINAL SIZE	594 x 841 - ISO A1
PRINT DATE	02-Nov-23 1:24:09 PM



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*Signature*

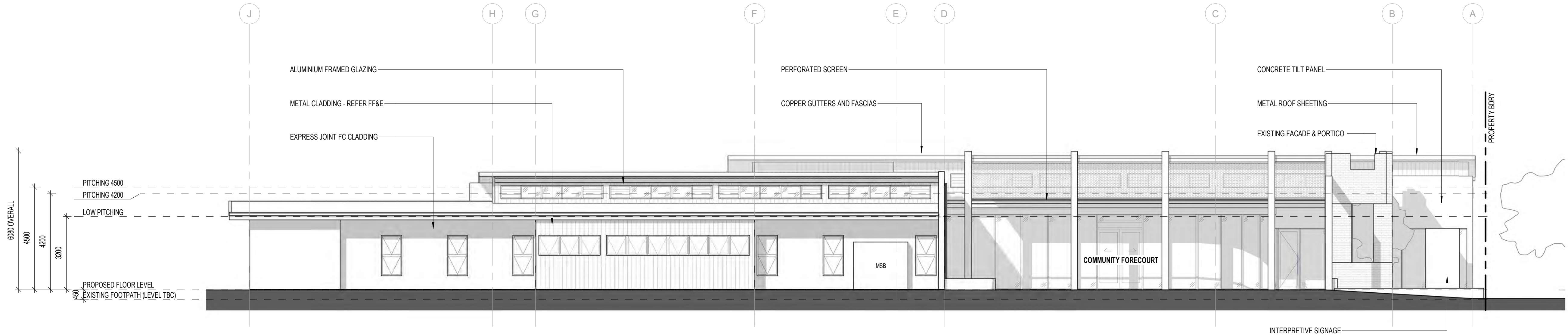
NORTH

**PRELIMINARY**  
REFER TO 'USE DEFINITION' ABOVE

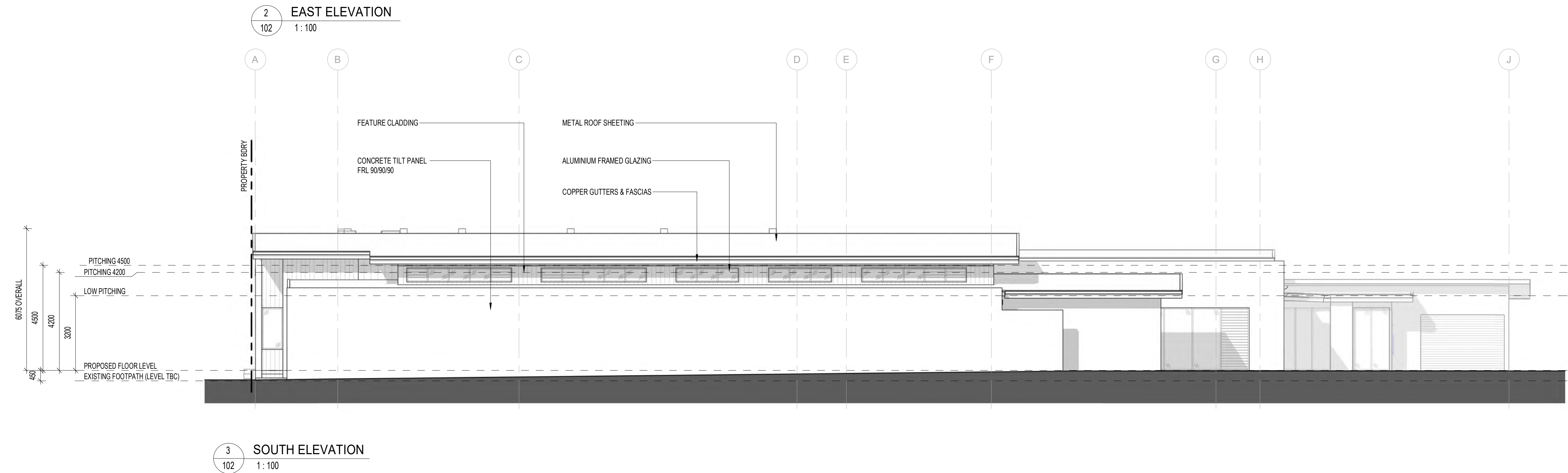
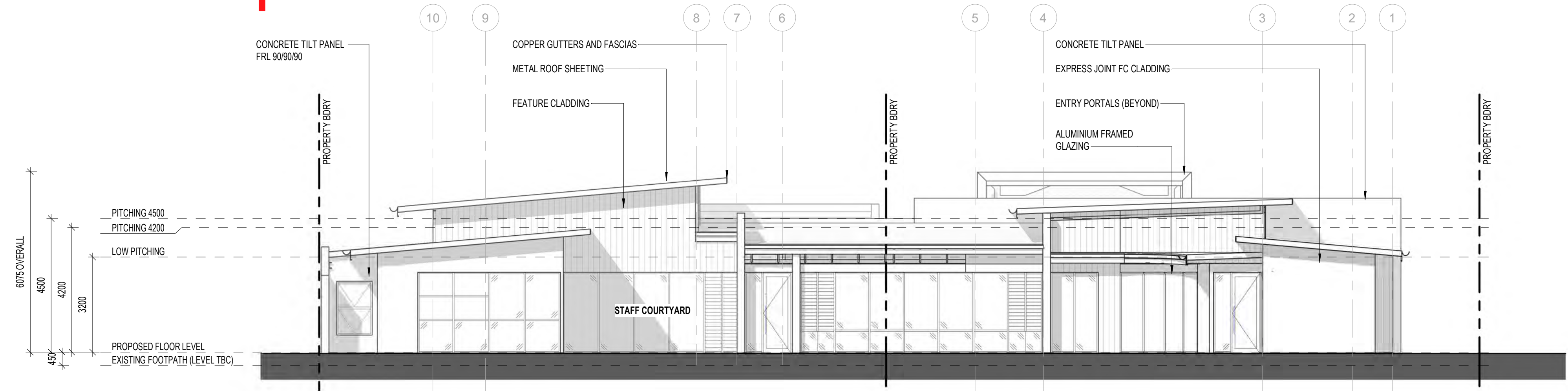
PROJECT NO.	PHASE	SHEET NO.	ISSUE
231967	DA	401	A



ABBREVIATION LEGEND	
ABBREV.	TEXT
MSB	MAIN SWITCHBOARD



# Plan superceded



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STREET ADDRESS	
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REAL PROPERTY DESCRIPTION	
L1 DP87721 L20 Section 38 DP758111	
CLIENT	
GWYDIR SHIRE COUNCIL	

BUILDING ELEVATIONS	
SHEET TITLE	
SHEET DETAILS	
AUTHOR	DOH
DESIGNER	OCK
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0 1m 2m 3m 4m 5m	
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PRELIMINARY			
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DWG	PROJECT NO.	PHASE	SHEET NO.
	231967	DA	402
ISSUE	A		

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ISSUE	DESCRIPTION	DATE
A	FOR DEVELOPMENT APPLICATION	02.11.2023

**PROJECT NAME**  
BINGARA ADMINISTRATION HUB

**STREET ADDRESS**  
33-35 MAITLAND ST  
BINGARA NSW 2404

**REAL PROPERTY DESCRIPTION**  
L1 DP87721  
L20 Section 38 DP758111

**CLIENT**  
GWYDIR SHIRE COUNCIL

**ILLUSTRATIVE VIEWS**

**AUTHOR** DOH  
**DESIGNER** OCK  
**ORIGINAL SIZE** 594 x 841 - ISO A1  
**PRINT DATE** 02-Nov-23 1:11:32 PM

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**NORTH**

**PRELIMINARY**  
REFER TO 'USE DEFINITION' ABOVE

DWG	PROJECT NO.	PHASE	SHEET NO.	ISSUE
	231967	DA	901	A

**STRUXI DESIGN PTY LTD**



# Maitland Street, Bingara NSW

Gwydir Shire Council

Landscape DA Approval



► SITE CONTEXT LOCATION NTS



► SITE LOCATION NTS











## LEGEND

- ① Existing Street Trees to be Retained
- ② Streetscape Low Level Entry Planting
- ③ Grassed Entry Forecourt
- ④ Entry Feature Planting Including Climbers to Structure
- ⑤ Information and Wayfinding Signage
- ⑥ Carpark Low Level Entry Planting
- ⑦ Outdoor Courtyard and Screening to Servicer
- ⑧ Updated Streetscape Footpath in line with Gwydir City Council





SHADE AND AMENITY TREES



ASPIDISTRA elatior

RANDIA fitzalanii



MAGNOLIA grandiflora



BACKHOUSIA citriodora

SHRUBS



ACMENA smithii 'cherry surprise'



CALLISTEMON 'Little John'



METEROSIDEROS Fiji Fire



SYZYGIUM 'cascade'



MURRAYA Min A Min



LOMANDRA tilga



LOMANDRA Lime Tuff



DIANELLA caerulea 'Little Jess'



ASPIDISTRA elatior



MICHELIA figo



LIRIOPE Evergreen Giant



PANDOREA pandorana



LIRIOPE Stripty White

FEATURE PLANTS & GROUNDCOVERS



CASUARINA glauca



VIOLA hederacea



TRACHELOSPERNUM Tricolour



CISSUS rhombifolia ellen danica



DORYANTHES palmeri



STRELITZIA reginae



ZOYSIA tenuifolia







# REVOLUTION TOWN PLANNING

FOR NOW AND FOR THE FUTURE

## APPENDIX 4 – Copy of Development Consent for Demolition of Existing Buildings

## **Notice of Determination of a Development Application D/A 24/2023**

This notice is issued to an applicant, and any person who made a submission about the applicant's proposal, once the application has been assessed by the consent authority.

### **1. Details of the Applicant**

**Name:** SMK Consultants

**Address:** Post Office Box 774  
MOREE NSW 2400

### **2. Details of the Property Owner**

**Name:** Gwydir Shire Council

**Address:** Locked Bag 5  
BINGARA NSW 2404

### **3. Details of the land to be developed**

**Address:** 33 & 35 Maitland Street Bingara

**Description:** Lot: 20 Sec: 38 DP: 758111 & Lot: 1 DP: 87721

#### ***Description of the development:***

Demolition of the former Council building and Soldier Memorial Hall at 33 Maitland Street and the adjoining building at 35 Maitland Street subject to attached conditions

### **4. Decision of the consent authority**

***Consent is granted subject to the conditions and reasons listed in the attached schedule.***

**Date from which the consent operates:** 28 September 2023

**Date the consent expires:** 28 September 2028

**Date of this decision:** 28 September 2023

#### ***Note: Expiry of Development Consent***

*This development consent will only expire on the nominated date if the development proposal has not been activated by physical commencement of the building work onsite (such as footings) or beginning the operation of the business/activity or physical commencement of the subdivision onsite (such as road works).*

**5. Other approvals**

*The following approvals will be granted, consistent with this consent, if the applicant applies to the state agencies listed within 3 years of the date of this decision:*

Nil


*The following approvals have been granted under the Local Government Act 1993:*

Nil

No commission of Inquiry has been held.

**6. Signature**

*For this notice to be valid, it must be signed by the consent authority.*

  
Leeah Daley  
Acting General Manager

28/09/2023  
Date

**7. Rights of appeal**

**If you are the applicant:**

*You can appeal against this decision in the Land and Environment Court within 6 months of the date of this notice. You cannot appeal, however, if a Commission of Inquiry was held and the development is designated development of state significant development.*

**If you objected to the proposal in writing and the application was for designated development:**

- You can appeal against this decision to the Land and Environment Court within 28 days of the date of this notice. You cannot appeal if a Commission of Inquiry was held.*
- If the applicant appeals against this decision, you will be given a notice of the appeal and you can apply to the Land and Environment Court within 28 days of the date of this notice to attend the appeal and make submissions at the appeal.*

**8. Review of Determination**

*An applicant may request the Council to review a determination of the applicant's application. The request for a review must be made within 28 days after the date of the determination. An approved fee must, if required by the Council, be paid in connection with a request for a review. The Council may review the determination and, as a consequence of its review, may confirm or change the determination.*



## **SCHEDULE OF CONDITIONS**

### **PART A - GENERAL**

#### **1 Scope of Approval**

The Applicant/Owner shall carry out the development generally in accordance with:

- a) DA No 24/2023;
- b) Conditions of this consent; and
- c) The following documents

Document	Reference No	Drawn by	Dated
33 & 35 Maitland Street Bingara, Statement of Environmental Effects	23-33	SMK Consultants	April 2023
Structural Engineers Report	2023074488	David C Jones	15 July 2023

#### **2 Compliance with Documents**

The development shall comply with the document "33 & 35 Maitland Street Bingara, Statement of Environmental Effects", by SMK Consultants, dated April 2023, except as modified by the conditions of consent.

*Reason:*

*To ensure compliance with the conditions of consent and that the development is carried out in accordance with the approval.*

#### **3 Retention of Façade and Portico**

The façade and portico of No. 33 Maitland Street, Bingara is to be protected and stabilised in accordance with the Engineers Report, "Structural Engineers Report", by David C Jones, dated 15 July 2023.

*Reason:*

*To ensure that the façade and portico of the building at No. 33 Maitland Street, Bingara is retained and that the building is properly recorded before and during the demolition.*

### **PART B - PRIOR TO DEMOLITION**

#### **4 Demolition Plan**

A demolition plan is to be submitted to and approved by Council and shall include:

- a) A waste management plan. In-so-far as is possible and reasonable, materials are to be salvaged for re-use.
- b) The plan shall also detail steps to be taken to manage asbestos identification and removal.
- c) Measures to protect adjoining sites are to be outlined.

- d) Soil and water management techniques during disposal are to be outlined.
- e) Site security and public access control measures that address public safety.
- f) Acoustic measures to minimise noise impacts.
- g) Dust control measures, in particular to limit the spread of dust that may be contaminated.
- h) Structural review to identify safe demolition methods.
- i) Removal or stabilisation of in-ground tanks in accordance with EPA requirements.

*Reason:*

*To manage public safety and amenity throughout the development. To comply with statutory requirements and relevant standards.*

#### **4 Traffic Management Plan**

A traffic management plan is to be submitted to and approved by Council which is to ensure:

- a) Impacts on the operation of Maitland Street are minimised during business trading hours.
- b) Access is to be other than from Maitland Street where possible.
- c) Loads are to be fully covered and transfer of contaminated materials shall be in accordance with EPA requirements as set out in the Waste Regulation 2014.
- d) Chain of Responsibility is to be outlined.

*Reason:*

*To manage public safety and amenity throughout the development. To comply with statutory requirements and relevant standards.*

#### **5 Photographic Survey**

A full photo survey is to be taken of 33 Maitland Street prior to demolition and shall include archival quality photographs as well as digital images.

*Reason:*

*To chronicle and retain a record of the heritage value of the building for future generations.*

#### **6 Works on or over Footpaths or on any Public Road**

An application is to be made to Council under s138 of the Roads Act 1993 for all works that may impact or be carried out on the Maitland Street or any other footpath and/or any public road.

*Reason:*

*To manage public safety and the amenity throughout the development. To comply with statutory requirements and relevant standards.*



## **PART C - DURING DEMOLITION**

### **7 Compliance with AS 2601-2001**

Demolition shall comply with AS 2601-2001 unless it conflicts with these conditions, in which case these conditions prevail.

*Reason:*

*To manage public safety and the amenity throughout the development. To comply with statutory requirements and relevant standards.*

### **8 Hours of Operation**

Hours are 7am to 6pm Monday to Friday and 8am to 5pm Saturday, Sunday and Public Holidays. These hours may be reviewed on written request to the Council by way of letter, and may be modified by Council without further amendment of this consent. Works not creating any audible noise at any residential premise may be carried out outside these hours.

*Reason:*

*To maintain the amenity of the area.*

### **9 Minimise Impacts**

All reasonable steps shall be taken to minimise adverse impacts on adjoining and nearby properties.

*Reason:*

*To manage public safety and the amenity*

### **10 Complaints**

A complaints mechanism is to be established, to provide a contact phone number and email address which are to be displayed on site. Complaints are to be responded to within one (1) business day and any necessary operational changes are to be made.

*Reason:*

*To manage public safety and the amenity*

### **11 Photographic Record**

An archival photographic record is to be taken of the building's deconstruction and supplied to Council.

*Reason:*

*To chronicle and retain a record of the heritage value of the building for future generations.*

### **12 Discovery of Unknown Heritage**

- a. If any Indigenous artefacts are discovered, the provision of the NPWS Act 1994 are to be applied. Work is to stop until appropriate investigations have been undertaken.
- b. If any European artefacts are discovered, other than the building

structure itself, advice is to be sought from a heritage specialist on the management of those artefacts.

**Advisory Note:**

Consideration should be given to retaining at-ground artefacts where these are compatible with the planned future use of the site and where they contribute to an understanding of the site's history.

*Reason:*

*To ensure that any unintentional finds of heritage significance are not destroyed during demolition and are properly treated and recorded.*

**13 Potential for contamination to be uncovered during demolition**

As needed, additional investigations shall be undertaken into contamination as areas are exposed during demolition. This may require soil testing and other testing to confirm levels of contamination. The demolition plan is to be updated as needed to reflect the findings of these investigations.

*Reason:*

*To comply with EPA requirements and the Contaminated Land Management Act 1997 and Contaminated Land Management Regulation 2022.*

**PART D – OTHER**

**Advising – Future development**

- a. Replacement buildings need to respect the streetscape without copying historic development.
- b. Interpretive material should be included in any redevelopment of the sites.

*Reason:*

*To pay homage to the existing character of the area and the history of the sites whilst facilitating appropriate redevelopment of the land.*



# SMK

## CONSULTANTS

surveying – irrigation – environmental – planning  
ABN 63 061 919 003

39 Frome Street  
PO Box 774  
Moree NSW 2400  
Ph 02 6752 1021  
Fax 02 6752 5070  
ptaylor@smk.com.au

www.smk.com.au



33 & 35 Maitland Street Bingara

## STATEMENT OF ENVIRONMENTAL EFFECTS

Gwydir Shire Council  
Locked Bag 5  
Bingara NSW 2404

APRIL 2023

GWYDIR SHIRE COUNCIL	
Environmental Planning & Assessment Act 1979	DA-24/0023
DEVELOPMENT APPLICATION NO.	
CONSTRUCTION CERTIFICATE NO.	
COMPLYING DEVELOPMENT CERTIFICATE NO.	
APPROVED	
This is the Final Specification relating to the Development Consent, General Conditions and any Complying Development Certificate.	
Authorised Officer	28/9/2023
	Date

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# SMK

## CONSULTANTS

surveying – irrigation – environmental – planning

ABN 63 061 919 003

## DOCUMENT CONTROL

Project Name	33 & 35 Maitland Street Bingara
Applicant	Gwydir Shire Council Locked Bag 5 Bingara NSW 2404
Project Reference	23-33
Report Number	23-33-1
Prepared for	Gwydir Shire Council Locked Bag 5 Bingara NSW 2404
Prepared by	SMK Consultants 39 Frome Street Moree, NSW 2400
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Revision History			
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0	February 2023	Peter Taylor	Initial Submission
1	April 2023	Peter Taylor	Issued to Council

## EXECUTIVE SUMMARY

This Statement of Environmental Effects (SoEE) has been prepared by SMK Consultants on behalf of Gwydir Shire Council ("the Applicant") to support the demolition of two (2) buildings and ancillary infrastructure located at 33 and 35 Maitland Street in Bingara. Council aims to demolish the buildings, as one of the buildings is contaminated by mould and the other is falling into a state of disrepair. A new building will be built at 33 Maitland Street. This will be smaller than the existing Soldier's Memorial Hall currently present on-site. The remainder of the site will be redeveloped as a green space.

<b>Applicant:</b>	Gwydir Shire Council Locked Bag 5 Bingara NSW 2404
<b>Owner:</b>	Gwydir Shire Council Locked Bag 5 Bingara NSW 2404
<b>Subject Land:</b>	Lot 20 Section 38 DP758111 Lot 1 DP87721 Address: 33 & 35 Maitland Street Bingara NSW 2402
<b>Local Government Authority:</b>	Gwydir Shire Council
<b>Proposed Development:</b>	Demolition of two buildings and ancillary infrastructure on Maitland Street, Bingara.
<b>Type of Development:</b>	Local Development under the <i>Gwydir Local Environmental Plan 2013</i> .
<b>Permissibility:</b>	The proposed development is permissible with the consent of Gwydir Shire Council.

### Approvals and Licences

The following approvals are required to demolish the existing buildings located at 33 and 35 Maitland Street in Bingara:

- Development Consent from Gwydir Shire Council under Part 4 of the *Environmental Planning and Assessment Act 1979*.



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## 1 Introduction

This Statement of Environmental Effects has been prepared on behalf of Gwydir Shire Council to accompany a Development Application (DA) for the demolition of two buildings located at 33 & 35 Maitland Street in Bingara. The building at 33 Maitland Street is the Soldier's Memorial Hall, which is over 100 years old. This building has been impacted by extensive mould contamination which was discovered approximately 18 months ago as a result of the damp coursing around the building having failed. The building is owned by Gwydir Shire Council and housed the Gwydir Shire Council offices until the closure of the building as a result of the health risks to staff and customers due to the uncontrollable mould contamination.

Council have been through an extensive process of assessment and evaluation, ruling out several alternative options prior to deciding to demolish the building. Works were initially undertaken to attempt to dry out the building, however this did not remediate the problem. The nature and cost of required repair and renovation works were also assessed, and it was determined that the building would require extensive works including shelling and re-fitting the entire building at a minimum cost of \$3 million. This option was considered too onerous and unviable. The cost of the demolition and reconstruction of the building is estimated to be \$2 million. In addition to the lower capital investment, a new build would also have significantly lower maintenance and repair costs in the long-term. The actual cost of the proposed demolition works is estimated to be approximately \$150,000.

Council is also the owner of the adjoining building located at 35 Maitland Street in Bingara. The building does not have mould issues; however, the building is ageing and falling into a state of disrepair. Council reviewed a range of options for renovating the building. The outcome of the review determined that the best option is to demolish this building in order to redevelop the site. The building was previously used by the Bingara Vet Clinic, which closed in 2021. The Local Landcare offices used part of the building. Council has determined that the site of this building will benefit the commercial precinct as a green space area.

Persons involved in the preparation of this Statement of Environmental Effects and its appendices are:

- **Marie Duffy** B.Sc. M.Sc.
- **Bruno Nwokolo** B.Sc. M.Sc.
- **Peter Taylor** BSc MEIANZ CIAg LAA

## 2 Site Description and Proposed Development

The proposed development involves demolition of the Soldier's Memorial Hall and outbuildings at 33 Maitland Street in Bingara, as well as demolition of the adjoining buildings

at 35 Maitland Street. Both buildings are located in Bingara's main street and commercial precinct.

The development site, consisting of Lot 20 Section 38 in DP758111 and Lot 1 in DP87721, is Rural Zone RU5 – Village under the *Gwydir Local Environmental Plan 2013* (LEP) and has a total area of approximately 3,000 m<sup>2</sup>. The site has frontage to Maitland Street in Bingara's centre and the site is bounded by other commercial buildings to the north and south. The Council's Bingara works depot is located to the east.

The Soldier's Memorial Hall is located on Lot 20 DP758111 and was initially built as a School of Arts in 1907. In 1922 the building was extensively renovated and renamed the Memorial Hall to honour fallen soldiers. It was operated as a ballroom and, briefly, as a picture theatre. The building later became the Bingara Returned Services Club and in 1947, Council Chambers moved into the building until its recent closure. There is also a gravelled area at the back of the building which has been used as a car park.

The internal part of the Memorial Hall building mostly consists of rendered brick walls, timber, metal sheeting and non-asbestos wall sheeting. The external wall of the building is made of brick and the roof is corrugated iron.

For the Memorial Hall, asbestos based materials were visually identified on the eaves, on the wall and ceiling of the male and female toilet, and on the upper wall sheeting in the store/cubical in the first room on the northwest of the building.

The paint on the building includes numerous layers of the original paint which will have a higher lead content than modern paints. This old paint needs to be carefully treated as it has the potential to contaminate soil and become a safety risk for inhalation when disturbed.

The Memorial Hall building is not a listed heritage item; however, Council intends to retain the logo on the front façade and to incorporate it in the new building's façade. Council will also ensure that the tree located in the south-western corner of Lot 20 DP758111, (front right of the Memorial Hall building when viewed from Maitland Street) will be retained as part of the new development proposal.

The extended part of the development site at 35 Maitland Street Bingara (Lot 1 in DP87721) south of the Memorial Hall was previously used for the Local Landcare office and Bingara Veterinary Clinic. Prior to being used for offices, the site was used as a mechanical workshop in the 90's. When the mechanical workshop ceased operations, the property was purchased by Gwydir Shire Council. The western side of the property facing Maitland Street was renovated to provide rooms and office space for the Bingara Veterinary Clinic and Local Landcare office. Some of the structures of the old mechanical workshop are still present at the eastern side of



the site. The Landcare office only used a small area of the existing building on the site, while the larger portion of the building was used as a Veterinary Clinic. Use of the building ceased in about December 2021.

The internal materials of the Landcare and Veterinary building are made of mostly gyprock sheeting while the external parts of the building are made of timber, concrete, corrugated iron, and other mixed materials. The shed on the east of the property is made of corrugated iron and timber. The paint within the shed is suspected to be lead based paint. The lawn area remains maintained and mown on a regular basis. The sewage or water pipes were exposed in several places at the rear of 35 Maitland Street were visually identified as asbestos based pipes. It is suspected that more of this pipe remains below ground.

Several materials in both buildings were identified as containing asbestos and lead. Additional details regarding the occurrence of these hazardous materials and their appropriate removal and disposal is provided in Appendix 2 of this report, in the form of a preliminary site investigation report. This report provides a recommended demolition process for remediation of the site.

The presence of the uncontrollable mould in the Memorial Hall makes the building unusable and therefore Council has determined that demolition is the safest option for this building. The Veterinarian Clinic no longer provides a commercial standard of building as it requires repair. Based on Council assessment, it is highly unlikely whether a new business will viably refurbish the site for commercial use.

Council has indicated that the Soldier's Memorial Hall will be reconstructed as a smaller building which will house both Council and Landcare offices. The site at 35 Maitland Street will be redeveloped as a green space to make the space more visually attractive. These actions will be the subject of a separate development application to be prepared and assessed by Council.

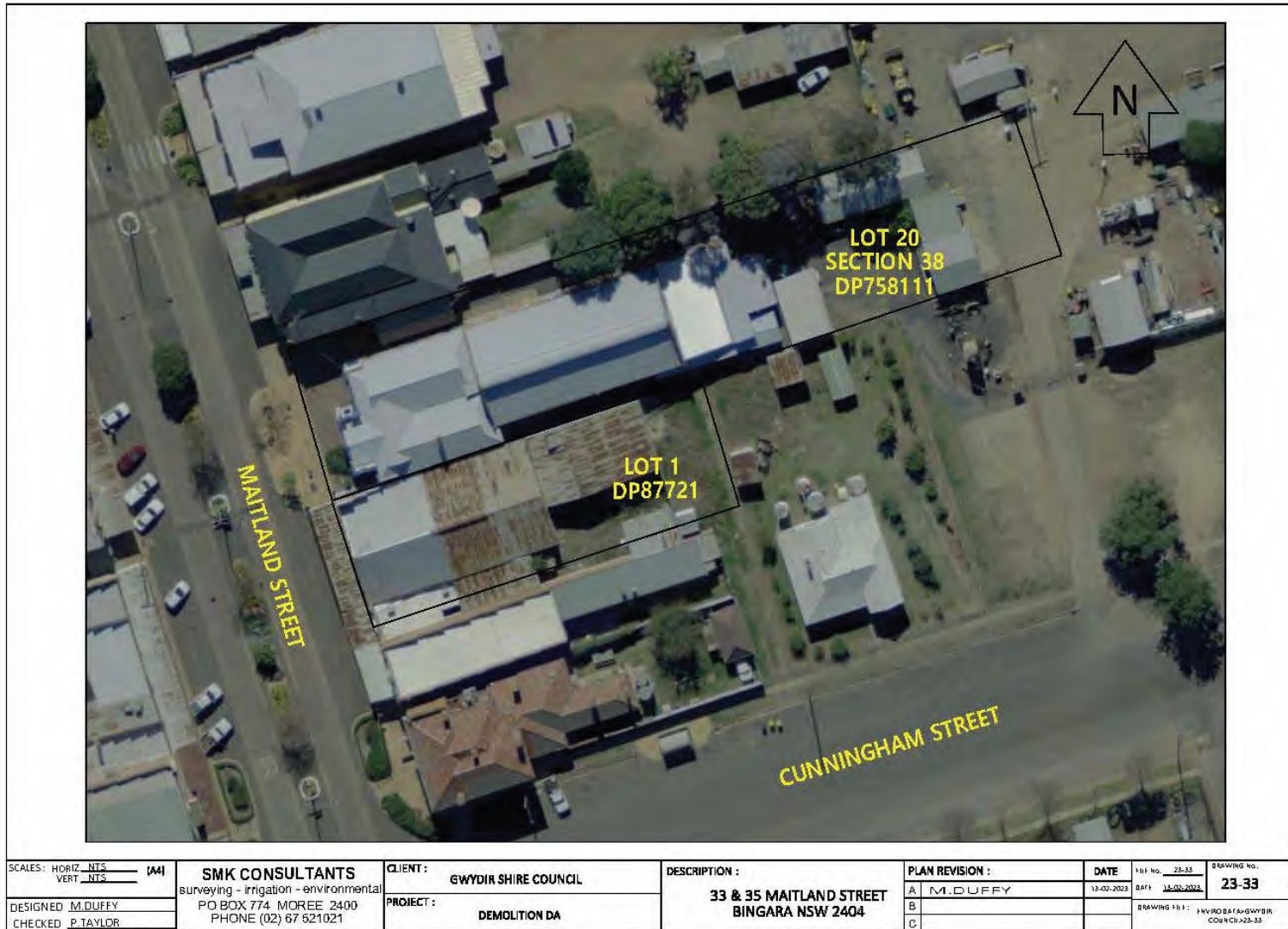
The following plan presents an aerial image showing the site and surrounding area.

## 2.1 Site Operations

Site operations during the demolition are anticipated to involve specialist demolition and removalist crews, associated plant and equipment. Haulage trucks will also be required to remove debris and material.

Trucks will mainly enter the site from the rear access via the Bingara Works Depot. Once loaded they will return to Cunningham Street via the works depot.

The following provides an aerial image showing the buildings and the Lot boundaries.



Fencing will be erected around the site and front footpath. Pedestrians will be directed to the western side of Maitland Street during the demolition and removal process to ensure their safety.

Ample parking for light vehicles will be available on the eastern extent of Lot 38 (behind the Soldier's Memorial Hall) for workers.

It is noted that the majority of the demolition works will be contracted out, and it is expected that as many materials as possible will be recycled/re-used. To ensure the most effective reuse of items, debris will be removed in groups according to material type.

Prior to the commencement of site operations, neighbours will be notified of the development on the site and the site supervisors' details will be provided.

The design of the new building on Lot 20 in DP758111 and re-development of the adjoining site on Lot 1 in DP87721 is yet to be finalised. Redevelopment of the site will be subject to a separate development application and construction certificate process through Council.

This development application solely covers the proposed demolition works. The demolition works are expected to take two to three months from commencement to final remediation. It is anticipated that redevelopment of the site would be able to commence by September 2024.

## 2.2 Demolition

Demolition works will consist of four main stages. Firstly, the removal and disposal of asbestos containing materials from the building. This would be followed by the demolition and the hauling of debris and material to the Bingara Landfill. Once most building materials are removed from the site, more detailed soil investigations will be undertaken to locate and plan the removal of any contaminated materials in the soil. Once a suitable remediation plan is developed, the remediation will be undertaken and followed by validation testing to ensure the remediation process is completed to the required standards.

Construction hours will be from 7am to 6pm weekdays and from 7am to 2 pm on Saturdays. The construction work is expected to take two to three months, dependent on weather and the availability of contractors.

SMK Consultants completed an inspection of the building and identified asbestos containing materials in various locations. The asbestos material is in a non-friable state and generally in good condition with a consistent paint covering. Prior to the main demolition of the building, asbestos containing materials must be appropriately removed. The services of Licenced

Asbestos Removalists will be required to remove and dispose of asbestos materials safely without emitting asbestos fibres.

NSW EPA has specific transport requirements for amounts of asbestos waste over 10m<sup>2</sup>. EPA's *Waste Regulation* (2014) requires transporters to use 'Waste Locate', an online system for tracking the movement of asbestos waste in NSW. The waste must also be covered and double wrapped in plastic to prevent the release of asbestos fibres during transport. This is particularly important as the 3km route to Bingara's waste facility goes through central Bingara and passes a number of residential dwellings.

Once the asbestos material has been removed, the demolition process will commence. The details of the demolition will be subject to structural investigations. Works will require excavator, water trucks and trucks for carting waste.

Due to the site's proximity to Maitland Street, one of Bingara's main commercial streets, care will need to be taken in barricading the site from the public. The site will also need to be locked and inaccessible after hours with appropriate signage and warning notices.

The carting of demolition debris will increase the frequency of trucks through Bingara as trucks either travel the 1.5km route from the site to the Bingara Waste Recycling Centre off the Cobbadah Road to the south of Bingara, or 3.3km west of the town to the Bingara Landfill, located off the Killarney Gap Road. Trucks can only cart waste during Landfill operating hours of between 8.30am and 5.30pm.

### 2.3 Required Approvals

The Development Application is considered Local Development under the *Environmental Planning and Assessment Act 1979*. Approval is therefore required from the Gwydir Shire Council before the proposal can proceed.

Once development approval is obtained, demolition works can commence subject to civil investigations and approval conditions.

## 3 Policy and Legislation Assessment

### 3.1 Commonwealth Legislation and Regulations

#### 3.1.1 Environmental Protection and Biodiversity Conservation Act 1999

The *Environment Protection and Biodiversity Conservation Act 1999* (EPBC Act) requires the approval of the Commonwealth Minister for the Environment for actions on Commonwealth land or those that may have a significant impact on matters of national environmental significance.



The proposal is for small-scale demolition works in the Bingara town centre. The development is not considered to produce off-site impacts which will degrade or alter either Commonwealth land or matters of national environmental significance.

### 3.2 State Legislation, Regulations and Policies

#### 3.2.1 Environmental Planning and Assessment Act 1979

The *Environmental Planning and Assessment Act 1979* provides the framework for NSW Planning Legislation. Under this Act, local councils prepare Local Environmental Plans (LEPs) that specify planning controls for specific parcels of land. The Act also provides for State Environmental Planning Policies (SEPPs) and Regional Environmental Plans (REPs). Applicable SEPPs are discussed in Section 2.2.4.

This document has been prepared in accordance with the requirements of this Act. The following sections address matters for consideration outlined under Section 79C (1) of the Act to provide an assessment of how the development complies with relevant legislation and policies, and how the proposal will be developed and managed to protect the built and natural environment.

#### 3.2.2 Environmental Planning and Assessment Regulation 2000

The *NSW Environmental Planning and Assessment Regulation 2000* requires that certain documents must accompany a development application. This Statement of Environmental Effects and its attachments including the Remediation Action plan satisfy these requirements.

#### 3.2.3 Biodiversity Conservation Act 2016

The BC Act outlines requirements in relation to the listing of threatened species, biodiversity impact assessment, offsetting, and related offences. The assessment of biodiversity values on land and the impacts of activities on those biodiversity values are to be carried out in accordance with the Biodiversity Assessment Method (BAM). The objective of the BAM is to adopt a standard approach that will result in no net loss of biodiversity in NSW.

The Act also outlines the Biodiversity Offset Scheme (BOS). Development that is subject to the BOS scheme includes development needing consent under Part 4 of the EP&A Act (excluding complying development), activities under Part 5 of the EP&A Act, State significant development and State significant infrastructure.

Where development or an activity is, “likely to significantly affect threatened species”, a Biodiversity Development Assessment Report (BDAR) must be prepared, and consent authorities are required to consider the likely impact of the proposed development on biodiversity values before granting approval.

Section 7.2. of the BC Act states that an activity is “likely to significantly affect threatened species” (and therefore whether a BDAR is required) is reached if:

- the test in section 7.3 of the BC Act identifies matters that may significantly impact threatened species, populations or endangered communities;
- the Biodiversity Offset Scheme (BOS) Threshold is exceeded; and
- the development is carried out in a declared area of outstanding biodiversity value.

The subject land was assessed using the online Biodiversity Offsets Scheme Entry Tool, which determines whether any proposed clearing would be above or below the area thresholds or lies within an area mapped as having high biodiversity value. According to BOS, the area clearing threshold for each of the two subject lots is up to 0.25 hectares of native vegetation. The subject site does not support native vegetation or natural habitat. In the absence of native vegetation clearance, the BOS threshold would therefore not be exceeded.

The proposed development site is not located within a declared area of outstanding biodiversity value.

Proponents are also required to carry out a ‘test of significance’ for all development proposals that do not exceed the Biodiversity Offset Scheme Threshold. Given the absence of native vegetation on the site, it was determined that the proposal is not likely to significantly affect threatened species and that a test of significance is not required.

#### 3.2.4 State Environmental Planning Policies

**Error! Reference source not found.** presents a summary and comment on current State Environmental Planning Policies and identifies their relevance to the proposed development.

**Table 1: List of State Environmental Planning Policies**

SEPP Title	Relevance
State Environmental Planning Policy (Planning Systems) 2021	Not Relevant
State Environmental Planning Policy (Biodiversity and Conservation) 2021	Review provided below
State Environmental Planning Policy (Resilience and Hazards) 2021	Review provided below
State Environmental Planning Policy (Transport and Infrastructure) 2021	Review provided below
State Environmental Planning Policy (Industry and Employment) 2021	Not Relevant
State Environmental Planning Policy (Resources and Energy) 2021	Not Relevant

SEPP Title	Relevance
State Environmental Planning Policy (Primary Production) 2021	Not Relevant
State Environmental Planning Policy (Precincts – Eastern Harbour City) 2021	Not Relevant
State Environmental Planning Policy (Precincts – Central River City) 2021	Not Relevant
State Environmental Planning Policy (Precincts – Western Parkland City) 2021	Not Relevant
State Environmental Planning Policy (Precincts – Regional) 2021	Not Relevant

#### 3.2.4.1 *State Environmental Planning Policy (Biodiversity and Conservation) 2021*

Chapter 4 of the *SEPP (Biodiversity and Conservation) 2021* applies to land within each local government area listed in Schedule 2 of the SEPP, with certain exceptions such as land zoned RU1 – Primary Production. The Gwydir LGA is included in this schedule, and none of the exceptions listed apply to the site. The proposal is therefore to be assessed pursuant to Chapter 4 of the SEPP.

Clause 4.9 of the SEPP states that an assessment of the potential impact of the development on Koalas should be carried out where the proposal has an area of more than 1 Hectare and no approved Koala plan of management has been prepared for the land.

#### Comment

The Gwydir Shire is included in Schedule 2 of the SEPP; however, the proposed development site only has an area of <0.3 Hectares, therefore an assessment of Koala Habitat is not required. Further, the site is in an urban area and there are no trees or shrubs that are considered as Koala habitat within the site. The proposal is unlikely to have any impacts on local Koala populations.

#### 3.2.4.2 *State Environmental Planning Policy (Resilience and Hazards) 2021*

##### 3.2.4.2.1 Hazardous and Offensive Development

Chapter 3 of the SEPP applies to proposals falling under the definition of ‘*potentially hazardous industry*’ or ‘*potentially offensive industry*’. Under the SEPP, the permissibility of industrial proposals is linked to safety and pollution control performance. The SEPP aims to ensure the merit of proposals are properly assessed before being determined. It aims to ensure that developments can only proceed if they are suitably sited and can demonstrate that they will be built and operated with an adequate level of safety.

The hazardous substances and dangerous goods to be held or used on the proposed development site are required to be identified and classified in accordance with the risk screening method contained within the document entitled Applying SEPP 33 (Department of

Planning, 2011). Hazardous materials are defined within guidelines for *Applying SEPP 33* as substances falling within the classification of the Australian Code for Transportation of Dangerous Goods by Road and Rail (Dangerous Goods Code).

No hazardous material is stored onsite or will be dealt with onsite as part of the proposal. A minor amount of asbestos sheeting is present onsite which is not considered hazardous materials if it remains undisturbed. The demolition work will adopt the required removal and remediation actions for asbestos removal prior to demolition. This is considered acceptable. Appropriate waste handling procedures will be undertaken when moving and disposing of asbestos containing materials. All materials will be double wrapped and sealed in plastic to prevent fibre release. If deemed necessary by the Licensed removalist, the removal area will also be wet down to prevent fibre release during the removal process.

Water will be used to mitigate dust generated from the demolition process. This will also be essential to avoid mould spore emissions during the demolition process.

Based on the risk screening method of *Applying SEPP 33*, the proposal is not considered potentially hazardous under SEPP 33. As such, there is no requirement to undertake a Preliminary Hazard Analysis for the proposal.

### **Offensive Development**

Offensive industries and potentially offensive industries are defined under Clause 4 of SEPP 33 as follows:

- *Offensive Industry: a development which, when all measures proposed to reduce or minimise its impact on the locality have been employed, would emit a polluting discharge in a manner which would have a significant adverse impact.*
- *Potentially Offensive Industry: a development which, if it were to operate without employing any measures to reduce or minimise its impact, would emit a polluting discharge in a manner which would have a significant adverse impact in the locality or on the existing or likely future development on other land.*

The proposal does not involve activities which would generate offensive odours or waste products. The proposal may generate noise and dust; however, this is not deemed as “offensive” as defined by this Policy. Further, the applicant proposes to implement the necessary controls to ensure no excessive dust or noise is experienced at locations surrounding the development site.

#### *3.2.4.3 Remediation of Land*

Chapter 4 of the *Resilience and Hazards SEPP 2021* covers remediation of land and aims to promote the remediation of contaminated land for the purpose of reducing the risk of harm



to human health and the environment. For a development that would change the use of the land, a consent authority must consider whether the land is contaminated and if it is, whether the land is suitable for the proposed landuse in its present state or whether remediation is required. Even where no change of use is proposed, a consent authority must consider whether the land is suitable for the proposed development if the land has been used for a purpose listed in Table 1 of Appendix 1 in Contaminated Land Planning Guidelines (NSW Government, 2018 (Draft)).

The site is not listed on the NSW EPA Contaminated Land Record suggesting there is no known significant contamination at the site. However, the register does not contain a comprehensive index of every contaminated site in the State, as the register cannot account for contaminated sites which have not yet been identified. An examination of the register must therefore be accompanied by a site assessment to determine a site's likelihood of being contaminated.

An initial walkover of the site by SMK's Contaminated Land Consultant identified a range of contamination on the site. A Preliminary Site Investigation Report is presented in appendix 1.

The land at 35 Maitland Street Bingara was once used as a mechanical workshop which may have produced contamination from oils or fuels. Below ground fuel tank infrastructure was identified onsite. The fuel tanks have not been used for a period of 30-years or more. One of the tanks is located beneath the present Landcare building while the second tank is located in front of the shed of the old mechanical workshop.

Removal of the tanks under the Landcare office building would potentially involve a requirement to demolish the building to allow safe access for removal of the tank and below ground pipe infrastructure. The option of in-situ remediation for old disused fuel tanks is available, subject to investigation and concurrence from NSW EPA. This is considered routine for old fuel tanks that have not been used for an extended period. It is normal procedure to drain the tanks and then fill them with an inert material such as concrete.

The second fuel tank is located in the open lawn area in front of the old mechanical shed and therefore its removal would not entail a requirement for demolishing a building. The preference is to excavate this tank, remediate any surrounding contamination and dispose of the tank according to regulations.

As previously stated, the paint on external walls of the male and female toilet on both sites, the doors, window frames, and fascia board of the Memorial Hall, the shed of the formal mechanic workshop consists of old lead in the paint which has a high lead content. Lead contamination of the adjoining soil was identified during the site investigation. The lead contaminated soil will need to be removed from the site as part of the remediation process.

Asbestos materials are present in the buildings. The site investigation visually identified asbestos material on the wall and ceiling of the male and female toilet, the eaves of the Memorial Hall, on the upper wall sheeting of the cubical/store in the first room on the northwest of the Memorial Hall and the floor tiles within the Memorial Hall. At the adjoining site at 35 Maitland Street, asbestos material was visually identified on the ceiling and walls of the male and female toilet, and on the underground water pipes within the site. All the asbestos materials at the site should be removed by a Licenced Asbestos Removalist prior to demolition works at the proposed development site.

The site investigation has not accessed beneath the buildings as this would require demolition of the buildings. In the event that demolition works reveal contamination, further investigations by an appropriately qualified land contamination consultant is recommended to determine the extent and concentration of the contamination or alternatively provide validation results to show a lack of contamination.

In summary, the primary concern within 35 Maitland Street relates to the potential of at least two or more below ground fuel tanks, related fuel pipes, asbestos contaminated materials and lead contaminated soils. The primary concern for 33 Maitland Street relates to mould, asbestos materials, and lead paint contamination. On this basis, validation testing in the form of a Visual Asbestos Clearance Certificate and final Validation Report will need to be completed as part of the demolition plan. This should be reflected in approval conditions.

#### *3.2.4.4 State Environmental Planning Policy (Transport and Infrastructure) 2021*

The Transport and Infrastructure SEPP provides development controls for infrastructure and services.

The proposed development does not trigger the provisions set out in Schedule 3 of the SEPP as traffic generating development that requires referral to the Roads and Maritime Services as the proposal is defined as 'any other purpose' and will not generate 200 or more motor vehicle movements per day.

### **3.3 Local Planning Instruments**

#### **3.3.1 Gwydir Local Environmental Plan 2013**

In accordance with the LEP, the demolition of a building or work may be carried out only with development consent. This proposed development is therefore permissible with consent under the *Gwydir Shire LEP 2013*.

### *Land Use Zoning*

The proposal falls under the *Gwydir Local Environmental Plan 2013*. The subject lots and those adjacent are zoned as RU5 – Village. This zoning is consistent throughout Bingara with the exception of parks and recreation spaces zoned as RE1 – Public Recreation.

#### Objectives of Zone RU5

The objectives of Zone RU5 are:

- To provide for a range of land uses, services and facilities that are associated with a rural village.

**Comment:** The proposal will support this objective by ensuring the continued provision of key services to the community. This is not possible with these buildings in their current condition. Demolition works will make way for a new building which, subject to Council approval outside of the scope of this application, will house the Gwydir Shire Council office in Bingara as well as the Local Landcare office. Leaving the buildings in their current state does not serve the Bingara community to the site's fullest potential as the Soldier's Memorial Hall is currently unusable due to mould contamination.

### 3.3.2 Heritage Conservation

Part 5, Clause 5.10 of the LEP deals with heritage items and heritage conservation areas. The objectives of this clause are as follows:

- a) To conserve the environmental heritage of Gwydir,
- b) To conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings, and views,
- c) To conserve archaeological sites, and
- d) To conserve Aboriginal objects and Aboriginal places of heritage significance.

#### Comment

The proposal is not in the direct vicinity of any heritage items in accordance with Council's Local Environmental Plan or under State or Federal legislation. There are several heritage items in the township of Bingara and the closest, the former police station and residence (Item No. I007 in the Gwydir Shire LEP) is situated approximately 80m north of the subject lot at 32 Finch Street. The subject site is sufficiently separated from the heritage building to avoid any adverse impacts.

### 3.3.3 Bushfire Hazard Reduction

Section 5.11 of the LEP deals with land that is considered bushfire prone and may require bushfire hazard reduction work. Bushfire hazard reduction work authorised by the *Rural Fires Act 1997* may be conducted on any land without development consent.

Bushfire hazard reduction work includes the following:

- a) the establishment or maintenance of firebreak on land, and
- b) the controlled application of appropriate fire regimes or other means for the reduction or modification of available fuels within a predetermined area to mitigate against the spread of a bushfire,

But does not include construction of a track, trail or road.

#### Comment

The subject land consists of an existing cleared area of land and the NSW Planning and Environment Property Report tool does not identify the property as Bushfire Prone Land. The risk of bushfire impacting the site is low and no bushfire hazard reduction work is deemed necessary.

#### 3.3.4 Earthworks

Part 6, Clause 6.1 of the LEP deals with development requiring earthworks. The objective of this clause is to ensure that earthworks for which development consent is required will not have a detrimental impact on environmental functions and processes, neighboring uses, cultural or heritage items or features of the surrounding land. Development consent is required for earthworks unless:

- a) the earthworks are exempt development under this Plan or another applicable environmental planning instrument, or
- b) the earthworks are ancillary to development that is permitted without consent under this Plan or to development for which development consent has been given.

Before granting development consent for earthworks (or for development involving ancillary earthworks), the consent authority must consider the following matters:

- a) the likely disruption of, or any detrimental effect on, drainage patterns and soil stability in the locality of the development,
- b) the effect of the proposed development on the likely future use or redevelopment of the land,
- c) the quality of the fill or the soil to be excavated, or both,
- d) the effect of the proposed development on the existing and likely amenity of adjoining properties,
- e) the source of any fill material and the destination of any excavated material,
- f) the likelihood of disturbing relics,
- g) the proximity to, and potential for adverse impacts on any watercourse drinking water catchment or environmentally sensitive area,



- h) Any appropriate measures proposed to avoid, minimise or mitigate of the development.

#### Comment

Earthworks will be required for the removal of building foundations and concrete pads in outbuildings. Adequate erosion and sediment control devices will need to be established on site prior to and during the demolition works in accordance with standard sediment and erosion control requirements. An erosion and sediment control plan could be prepared for the proposal as part of the detailed demolition plans. Earthworks on the site are considered low risk and will not have a detrimental impact on environmental functions and processes, neighboring uses, cultural or heritage items or features of the surrounding land.

#### 3.4 Development Control Plan

Gwydir Shire Council does not currently have a development control plan.

#### 3.5 Development Contribution Plan

The *Section 94 Development Contribution Plan No. 1 – Traffic Generating Development 2011* provides for an assessment of development proposals that may result in significant damage to bitumen sealed and/or gravel public roads. The proposed development is not considered a traffic generating development. Construction will involve several heavy vehicles for delivery of equipment required for demolition and removal of waste materials from the site. This is considered a minor short-term impact on local roads and therefore should not attract a requirement for a road contribution.

##### 3.5.1 Draft Environmental Planning Instruments

No draft environmental planning instruments apply to this proposal.

## 4 Environmental Assessment

Items considered include matters set out under Section 79C of the *Environmental Planning and Assessment Act 1979*.

### 4.1 Land Use Conflict

The demolition site adjoins active commercial premises in the main business precinct of Bingara. There is potential for conflict if appropriate actions are not followed during the demolition and remediation of the buildings subject to this application.

Barriers and fencing need to be erected to enclose the demolition site. Strict operating hours will be adhered to during demolition works to reduce the nuisance demolitions works may have on the surrounding businesses.

The hours for haulage of demolished materials from this site will be governed by opening hours at the local Landfill. These are identified as between 8.30am and 5.30pm. Only limited minor works can be undertaken outside of these hours.

To limit conflict with adjoining commercial business operations, an appropriate notification process will need to be adopted for the demolition works. This will need to include notification of neighbours as well as provision of site supervisor contact details for landowners to discuss issues or requests to limit activities on specific occasions where Maitland Street is being used for extended community activities.

### 4.2 Soil and Lithology

The surface geology around Bingara is classed as alluvial valley deposits. It is characterised by the nutrient rich sediment layers which are deposited by the Gwydir River.

Publicly available bore log data (MinView, 2023) within the area was examined to assess the spatial variation in soil type, the depth of bedrock at the site and the depth to groundwater. There are six (6) groundwater bores located within approximately 300m of the subject property. The bore logs available for these bores show that the soil profile in the area is variable, consisting of either clay soils with a minimum depth of 4m or shallow topsoils (less than 1m) underlain by sand or gravelly sand. Bedrock was typically not encountered, with one exception where shale river stone was identified at a depth of 6 metres.

Groundwater monitoring wells drilled in the area report water bearing layers at depths ranging from 8m to 18m below ground level. No shallow water bearing zones were encountered in the vicinity of the subject site.

The site is not considered to have any existing salinity issues and the development proposal as designed will not increase the risk of salinity on the property. There is no risk of acid sulphate soils at or surrounding the development site.

Land slope is essentially flat. Erosion is not considered a risk. However, given the nature of the proposed development, best practice drainage and sediment controls will be implemented on site. A Construction Environmental Management Plan (CEMP) could be prepared for the demolition works prior to undertaking any earthworks if this is identified in Council approval conditions.

#### 4.3 Land Contamination

The subject site is not listed as contaminated under the NSW EPA Contaminated Land Register.

The two properties were subject to a preliminary contamination assessment to identify whether contamination is present and provide recommendations for remediation if contamination was identified. Appendix 1 presents the Preliminary Site Investigation report. Contamination was found.

The report provides a recommendation for the demolition and remediation of this site. This is summarised in the following table:

**Table 2: Recommended Staging of Demolition Project for 33 and 35 Maitland Street**

Stage	Process	Comment
1	Establishment of exclusion fencing, signage of activities and contact details for site supervision	Standard procedure before asbestos is removed or demolition commences.
2	Removal of asbestos by a Class B Licensed Asbestos assessor	Permits to be obtained from Safework NSW for non-friable asbestos removal.
3	Visual Asbestos Clearance Certificate	To be obtained in accordance with Safework NSW requirements to confirm removal of all asbestos materials.
4	Demolition of buildings	Building materials can be disposed of as general building waste or recycled as asbestos free building waste.
5	Detailed site investigation	Soil sampling to determine depth of excavation of soil for removal of lead and hydrocarbon contamination, locate fuel tanks and review their condition and any contamination from the tanks.
6	Preparation of a Remediation Action Plan (RAP)	To provide specific details for appropriate remediation of the site to the required standards.
7	Site Remediation	In accordance with the RAP
8	Validation	Conduct a site Validation investigation to confirm RAP has been completed to required standards.

#### 4.4 Water Resources

The closest surface waters include Halls Creek located 400m north-east of the site and the Gwydir River located some 600m to the north.

Surface watercourses are considered to have a suitable buffer distance from the subject site and direct impacts to these waterbodies are considered unlikely. No activities associated with the proposed demolition works will occur within riparian areas.

##### 4.4.1 Water Supply

Bingara has a municipal water supply system. The water supply is managed by Council and is considered consistent with appropriate potable water standards. The proposed development will require water for dust suppression which can be obtained from this system. The buildings have an existing connection to water mains.

##### 4.4.2 Wastewater Generation

The buildings are connected to the local sewerage system. This will need disconnection prior to demolition if this is possible. Disconnection will reduce the risk of blocking the sewer main with debris.

No wastewater is anticipated to be produced during the demolition work. Portable toilets will be used by demolition staff throughout the development.

Appropriate erosion and silt management on site will be utilised to prevent the discharge of any runoff from water used in dust suppression into the stormwater system. If a significant rainfall event is predicted, temporary erosion and sediment control structures such as straw bales and silt fences will be installed to minimise the potential for sediment/debris laden runoff to enter Walls Creek and the Gwydir River to the north of the town.

#### 4.5 Air Quality

During demolition, dust may be generated through the use of equipment and earthworks. Construction work would be undertaken during normal working hours. It is anticipated that through the use of standard dust control measures, such as the use of water for dampening of exposed areas and materials, the dust emissions during the work can be limited. It will be essential to cover trucks used to remove loads of debris from the site.

During extreme conditions, such as hot, dry, windy conditions, dust generating work would be suspended as necessary to prevent undue dust impacts.



#### 4.6 Noise Impacts

The primary source of noise from the site will be generated by equipment and tools required for demolition and the movement and loading of trucks for waste disposal.

The surrounding background noise will be below general threshold levels recognised for more metropolitan locations as Bingara is a quiet town. The majority of significant noise generated within Bingara results from passing traffic.

Noise from trucks and vehicles will be mitigated by site speed limits of 5 km/h and noise limitation signs. Trucks and machinery will need to reduce noise by idling or being turned off when not in use. Noise emitted from idling vehicles is expected to have minimal impact on adjoining businesses and the community that uses Maitland Street.

Construction hours will be from 7am to 6pm weekdays and from 7am to 2 pm on Saturdays. The works are anticipated to take place on an intermittent basis, depending on contractor availability. The loudest noise of loading trucks will be limited to the hours of operation for the local Landfill. On this basis, truck loading may not commence until after 8am and cease at approximately 4pm.

The potential impact of noise from the demolition work will involve short bursts of noise and would not be continuous.

Adjacent businesses will need to be notified of the demolition dates and the anticipated timeframe of the work. They will also need to be supplied with the site supervisor contact number if they wish to raise concerns.

#### 4.7 Odour Emissions

Investigation of the site has not identified a risk of odour being generated from the site other than the odour of old building materials when it is wetted down. This is not considered as an offensive odour. It is preferable to wet down the building material during the process to avoid dust and therefore this minor odour cannot be avoided.

The potential for unacceptable odour generation from this site is considered unlikely.

#### 4.8 Energy

The proposed development is not predicted to be energy-intensive.

#### 4.9 Safety, Security & Crime Prevention

During demolition, a temporary fence will be erected. This fence will be locked to block public access into the site for safety purposes.

All plant and equipment left onsite will be locked and secured. The site will be kept in a tidy state each evening. No hazardous materials will be left exposed on the site outside of work hours. The construction/demolition certificate stage will outline the demolition plan to ensure the buildings are never left in an unstable state if there is a risk of collapse.

#### 4.10 Waste

Waste materials produced by the demolition will be carted to the nearby Bingara Waste Recovery Centre and/or the Bingara Landfill. Appropriate waste tracking requirements such as the EPA's Waste Locate App will be utilised for any hazardous materials taken from site including asbestos sheeting. Asbestos materials will also be wrapped and sealed in plastic to ensure fibres are not emitted during the transport stage.

Where possible materials will be recycled by the Waste Recovery Centre. For example, Council intend to organise the removal of concrete by Council staff and this is to be crushed and recycled for use as road base subject to inspection to ensure no hazardous material is included with the bricks and concrete materials.

#### 4.11 Natural Hazards

The land is geologically stable and not subject to volcanism, earthquake or soil instability such as subsidence, slip or mass movement.

##### 4.11.1 Bushfire Risk

The parcel of land is not classified as bushfire prone land according to the Rural Fire Service's "Bush Fire Prone Land Mapping Tool". The township of Bingara is not at significant risk overall as its immediate surroundings have been cleared of vegetation. While there are large expanses of remnant vegetation on hills to the east and west of the town, there is limited fuel load in its immediate surrounds.

##### 4.11.2 Flooding Liability

The site is considered flood free, per Council mapping show in in Figure 1 below. Bingara has historically not been flooded in storm or flood events associated with Bingara Creek to the north.

**Figure 1: Flood mapping for the proposed development site**

## 4.12 Cultural Heritage

### 4.12.1 Indigenous Heritage

The site has been developed as part of Bingara since the town was established. The original vegetation was removed and therefore no potential exists for scar trees or similar markings on native vegetation.

The ground on this site has been highly modified over time for the construction and operation of existing buildings and historical activities on-site over the last 100 years. The potential for any artefacts remaining on site is negligible. The development is not considered to create any risk of disturbing unknown artefacts.

### 4.12.2 Non-indigenous Heritage

No non-indigenous heritage items have been found within or adjoining the development site according to the NSW Government State Heritage Inventory and the Gwydir LEP. There are several heritage items in the township of Bingara however and the closest, the former police station and residence (Item No. 1007 in the Gwydir LEP), is situated approximately 80m north of the subject lot on 32 Finch Street. The subject site is sufficiently separated from the heritage building to avoid any adverse impacts.

#### 4.13 Visual Impacts

The proposed development aims to prevent the eventual decline of the subject premises which would negatively impact the visual amenity of Bingara. The Soldier's Memorial Hall in particular has had to be closed down for health and safety reasons, and the site is barricaded to prevent public access at present. Similarly, the premises located at 35 Maitland Street is ageing and is falling into a state of disrepair.

Reconstruction works at the site will improve the overall visual amenity of the site and significantly enhance the presentation of the site relative to its current state.

It should be noted that subject to a separate Council approval, the façade of the Memorial Hall will be retained for historical purposes.

#### 4.14 Access, Transport and Parking

During the demolition, the site will be accessible for trucks and equipment via the two existing access points; one from Maitland Street and one from a Council owned laneway providing access to 33 Maitland Street off Cunningham Street. The two points will provide access to all areas of the demolition site, with the laneway entry being preferred where possible in order to minimise disruptions on Maitland Street.

The existing access from Maitland Street on the northern side of the Memorial Hall may be considered by Council as unsuitable for heavy vehicles due to the pedestrian traffic along the footpath area. On this basis, it is considered preferable for heavy vehicles to access the site from the east.

Vehicles and plant will be able to park on the eastern side of Lot 20 Section 38 DP758111, at the back of the Soldier's Memorial Hall.

Overall, the subject site is considered to have acceptable site access, internal flow for traffic and provision for parking. The layout of the site is further outlined in associated site plans.

#### 4.15 Services and Utilities

The site is connected to the Bingara electricity supply and town water. The site must be disconnected from these facilities prior to demolition works beginning.

The services and utilities can be reconnected as needed for the construction and operation of the new building. This process will be subject to a separate development application.



#### 4.16 Social and Economic Impacts

The proposed development will prevent the further decline of the existing buildings. The buildings are over 100 years old and the Soldier's Memorial Hall has been closed down for health and safety reasons due to mould contamination and earth movement around the building. If left in their current state, the buildings will fall into a state of disrepair and therefore negatively impact the visual amenity of the town. They will also remain vulnerable to crime.

Demolishing the buildings to allow for the reconstruction of a building with a smaller footprint, more appropriate to the current needs of the community, and the addition of a small area of green space as proposed by Council once the demolition is completed, will ensure the continued use of the site to serve community members by improving the visual amenity of the Commercial precinct of Bingara.

#### 4.17 Cumulative Impacts

The proposed development will not require the clearing of any native vegetation or habitat. The proposed development is small-scale and is not anticipated to have significant impacts upon flora, fauna, heritage and amenity of the locality.

The potential cumulative impacts associated with noise, air quality and water resources would be negligible given the small-scale nature of the proposed development and the best practice management and mitigation measures which would be implemented during the works.

The demolition and reconstruction of a building on this site will provide positive economic and social benefits for the surrounding region, as well as eliminating a known health hazard in the Memorial Hall building.

Overall, the demolition of the buildings for the reconstruction of a smaller modern building with associated green space is considered an improvement for the town of Bingara.

### 5 Development and Investigation Summary

- The proposed development involves the demolition of two buildings and ancillary infrastructure on Lot 20 Section 38 DP758111 and Lot 1 DP 87721 at 33 and 35 Maitland Street, Bingara, NSW 2404 respectively.
- The proposed development is to be located on Maitland Street, one of the main streets in Bingara. The site is located centrally in Bingara within a walking distance of many residences.

- The site is zoned RU5 Village under the provisions of Gwydir Shire Council's Local Environmental Plan 2013;
- The subject site currently supports two old buildings which are shut down with the exception of the local Landcare office, which takes up part of the smaller of the two buildings. The proposed development will result in a positive impact on the aesthetics and appearance of the site;
- Defining elements of the Soldier's Memorial Hall, including the tree in front of the building and the logo on the building's façade, will be retained/unimpacted by the demolition works. The logo will be incorporated into the new building;
- The demolition process is only anticipated to a short period, causing minimal impact to neighbours. The site shares a boundary with only one (1) residence.
- The site is large enough to host the required demolition equipment and trucks. Minimal impact to Maitland Street is therefore anticipated to occur during demolition. The site is also located 2km from the Bingara Waste Recycling Centre meaning the clean-up process will not be hindered by haulage distances.
- The proposed development will have no significant adverse impacts on the native flora and fauna in the surrounds.
- The land is not identified as bushfire prone, or flood prone based on available online mapping provided on the ePlanning Spatial Viewer;
- The contamination levels identified by the preliminary site inspection are considered to be minimal, in relation to the site's history of commercial use. Most of the analytical results for soil obtained from the site were below the relevant NEPM Assessment Criteria for a playground apart from the presence of lead and some fractions of hydrocarbon that were identified in the soil samples. Potential contaminants of concern at 33 Maitland Street appear to be limited to the topsoil, having little opportunity to permeate down into the underlying clay soils. While the extent of contaminants of concern at 35 Maitland Street will need further investigation during the demolition work;
- Some building materials used at the site were identified as asbestos containing materials;
- The development as proposed is considered to address the requirements of sustainable development being a key consideration under the provisions of the *Environmental Planning & Assessment Act 1979*.

Overall, the site is considered suitable and capable of supporting the proposed demolition works without causing any significant adverse impacts to the surrounds.

### 5.1 Any submissions made in accordance with this Act or the Regulations

Public participation is addressed under Section 79A of the Environmental Planning and Assessment Act 1979 for advertised development and other notifiable development.

The consent authority must ensure a development application is advertised/notified in accordance with this clause and any relevant environmental planning instrument and/or development control plan.

### 5.2 The Public Interest

The public's interest will be considered during the proposed development as the application will be notified/advertised in accordance with Schedule 1 of the *Environmental Planning and Assessment Act 1979* and any relevant environmental planning instrument and development control plan to ensure the public are notified accordingly and given their right to be heard.

#### **Do any policy statements from Federal or State Governments have relevance?**

No

#### **Are there any relevant planning studies or strategies?**

No.

#### **How will the health and safety of the public be affected?**

The health and safety of the public will not be negatively impacted by the proposed development. On the contrary, the proposal will contribute to an amelioration of public health as an unsound, mould contaminated building is being removed from the centre of Bingara. The demolition work will be undertaken in accordance with Safework NSW Guidelines and under the control of demolition and asbestos related permits to be issued by Safework NSW to appropriately licensed contractors.

## 6 Conclusion

This Statement of Environmental Effects provides an investigation into the proposed demolition of the Soldier's Memorial Hall at 33 Maitland Street and the adjoining building to the south at 35 Maitland Street in Bingara. The findings of this Statement of Environmental Effects include the following:

- The proposal is considered to comply with local planning guidelines and meets the objectives of the *Gwydir Local Environmental Plan 2013*, subject to obtaining Council consent;
- Without demolition, the unsound buildings will remain disused and continue to fall into a state of disrepair and decay;
- Council has determined that the Soldiers Memorial Hall contains a hazardous mould infection which cannot be dealt with to ensure complete removal of this risk without demolition of the building as proposed;
- The applicant has considered that demolition of the two buildings is the most cost-effective way of addressing the health and safety issues associated with the mould infestation and earth movement of the Soldier's Memorial Hall building;
- The demolition process can be managed to limit any nuisance to neighbours from dust and noise;
- The demolition process will need to include remediation of the land to remove contamination that has been identified onsite;
- The proposal will result in an option for the applicant to rebuild the site and provide a positive outcome to the commercial precinct in Bingara.



## Appendix 1 – Preliminary Site Investigation

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### Preliminary Site Investigation

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Prepared for:

Gwydir Shire Council

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April 2023

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## 1 Introduction

SMK Consultants were instructed by Gwydir Shire Council to undertake a Preliminary Site Investigation (PSI) of the property at 33 and 35 Maitland Street in Bingara. The property includes Lot 20 Section 38 Deposited Plan 758111 and Lot 1 Deposited Plan 87721 respectively.

The property is zoned R5: Village under the Gwydir Local Environmental Plan 2013.

The sites were assessed to determine the presence of any contamination constraints that need to be considered during the proposed demolition of the buildings on this land.

This report presents the field and laboratory results, discussion, and recommendations of the PSI.

The demolition and remediation of the site is subject to a development application to the Gwydir Shire Council who is the owner and applicant for this project.

## 2 Objective

The objective of the PSI is to determine whether the site has any contamination constraints that need to be dealt with during and after the demolition of the buildings on this land.

## 3 Scope of work

The PSI has been prepared in accordance with the regulatory framework established by NSW Contaminated Site Investigation guidelines.

The scope of works adopted for this investigation follows the NSW EPA Guideline for Consultants Reporting on Contaminated Sites (2020).

The primary scope of works involved the following steps:

- Desktop assessment of available information about the site;
- Review of historical aerial photographs of the property and surrounds;
- Onsite assessment of visible landscape to identify any potential contamination in relation to historical activity on site;
- Risk assessment of previous landuse;
- Sampling of soils to determine whether contamination is present;
- Analysis of samples by a NATA Laboratory including screening for a range of relevant parameters based on site observations and history;
- Review of results to compare standard threshold levels for analytes; and
- Preparation of a Preliminary Site Investigation Report to outline the investigation.

The activities undertaken to achieve the above objectives are reported and discussed in the following sections.

## 4 Site Details

The site is located on Lot 20 Section 38 Deposited Plan 758111 and Lot 1 Deposited Plan 87721 respectively under the Gwydir Local Environmental Plan 2013. The site is located within the main street precinct of Bingara.

Figures 1, 2, and 3 present historical aerial photographs of the property and the cadastral boundary.

### 4.1 Land Use

The subject site was occupied by Gwydir Shire Council who utilised the buildings for their main office. The main Council office is also known as Soldiers Memorial Hall. The adjoining land

supports buildings that were used for the Bingara Veterinary Clinic and Bingara Landcare office. All three buildings onsite are considered as commercial buildings.

## 4.2 Surrounding Land Use

The site adjoins other commercial premises in the main street of Bingara. These include a range of shops and offices. The site is located in the main commercial precinct of Bingara. Land to the east is used for the Gwydir Shire Council's Bingara Works depot. Other surrounding landuses are limited to commercial activity but no industrial or potential contaminating activity.

A single residence at 39 Cunningham Street has a common boundary with both Lots subject to this investigation.

## 4.3 Site Condition

### 4.3.1 Site Condition

The proposed development site at 33 and 35 Maitland Street is located within the commercial sector of Bingara. The sites have historically been used for office and meeting facilities.

No heavy industry or potential high risk contaminating activities are noted to have occurred on the site.

The building at 33 Maitland Street is named as the Soldier's Memorial Hall, which is over 100 years old. Since the mid-1900's, the building has been used as the Gwydir Shire Council chambers and offices. Neither activity can be related to a potential contaminating activity.

The adjoining 35 Maitland Street has more recently been used as office space and light activities. Historical information suggests that this site was used as a mechanical workshop. This use may have resulted in some contamination which will require investigation of potential hydrocarbon contamination.

In relation to the site conditions of both buildings, the primary issue relating to their demolition is the age of the buildings and the fact that materials such as asbestos was available when the buildings were renovated over the past 60-years or more. Additionally the buildings would have been subject to many coats of paint, which means that layers of the original high lead based paint would be present. Both of these materials can create contamination issues, but also need to be considered in the demolition and remediation of the site for site safety during the demolition work and removal of these materials to remediate the land to an appropriate level for ongoing use.

### 4.3.2 Site History

In order to gain a better understanding of the site and the surrounding areas, an aerial photograph search was conducted for the site and the local area. The aerial photograph of the area available on NSW historical imagery website are from: 1956, 1964, 1974, 1975, 1985, 1989, 1993, 1997, 2006, 2010, 2013, 2016, 2015, 2017, 2018, 2019, 2020, and 2021 google aerial photographs of the area.

The NSW historic aerial imagery does not have aerial photos prior to 1956. The 1956 historical imagery shows buildings on the land.

Historical records show that the Memorial Hall building was built as a School of Arts in about 1907. In 1922 the building was extensively renovated and named the Soldiers Memorial Hall. The building also operated as a ballroom and, briefly, as a picture theatre. The building later became the Bingara Returned Services Club and in 1947, the building was taken over by Gwydir Shire Council and became the Shire Chambers. In about 2019/20, mould was noticed in the ceiling and walls of the building. The mould could not be controlled to a safe level and use of the building has now ceased.

**Figure 1: Memorial Hall in 1923\***

\*Courtesy of Bingara Historical Society

The adjoining property at 35 Maitland Street Bingara is part of the proposed demolition project. This site is on the southern side of the Memorial Hall. It has recently been used for the Local Landcare office and Bingara Veterinary Clinic. History of the site indicates that it was originally built as a mechanical workshop in 1912 which continued trading through to about 2000. Historical information suggests the site was purchased by the Shire in about 2004, who converted it into two shops.

**Figure 2: Historical image of the front of 35 Maitland Street**

\*Courtesy of Bingara Historical Society

The Landcare office is still using a part of the existing building for their Bingara office. The Bingara Veterinary Clinic closed in December 2021.

The following table provides a listing of aerial images assessed. Three of these historical aerial images are presented below to identify changes of buildings on the properties.



**Table 1: Listing of Historic Aerial Photos (Bingara) available for the site.**

Year	Site Status	Comment
1956-1985	Building on the site	No change was observed
1989-2022	Building on the site	Few Changes were observed at the site

**Figure 3: 1956 Aerial image of the site.**

**Figure 4: 1965 Aerial image of the site.**



**Figure 5: 1998 Aerial image of the site.**





Figure 6: Investigation Site Plan





### 4.3.3 Areas of Environmental Concern

The following provides a description of potential contaminating materials resulting from historical use of the site.

**Table 2: Risk Assessment Table**

Location	Material Status	Potential Concern	Risk Class	Comment
Lawn and open areas	Residual Contamination Risk	Heavy metals	Low	There is a possibility of surface contamination due to past activities on the property
		Hydrocarbon		
	Surface Contamination	Contaminated Soil		
Buildings	Building materials	Asbestos	Low	Most buildings of this age contain Asbestos sheeting or asbestos materials
	Residual contamination risk	Heavy metals	Low	Paint on old buildings usually contains a high amounts of lead.

### 4.3.4 NSW EPA Contaminated Land Register

A search on NSW EPA contaminated land register found no contamination record for the site.

### 4.3.5 Protection of the Environment Operations Act (POEO) Public Register

A search on POEO public register was conducted for Environment Protection Licences, applications, notices, audits, or pollution studies, and reduction programs. No results were found for this site. The site does not require an Environmental Protection Licence (EPL).

## 5 Sampling and Analysis and Plan

### 5.1 Sample Program

A Preliminary Site Investigation was undertaken on the 24<sup>th</sup> of January and 1<sup>st</sup> of February 2023. The subject site was visually assessed for visible surface soil contamination and other potential contaminants. The purpose of the inspection was to identify any material or object of environmental concern present on the site. If materials of concern or unexplained bare ground or dead vegetation were present, the inspection was to involve sampling of the soil and further investigation of the source of the material and the potential extent of the contamination.

The pattern and number of samples to be obtained would be determined by the presence of contamination. If minor contamination was present, selective sampling patterns were to be used to target the contamination. If extensive contamination were identified, a pattern of sampling would be adopted from NSW Contaminated Site Guideline Sampling Procedures which determines the number of samples, depth of samples, and requirements for re-sampling.

Based on the condition of the site, a selective sampling protocol was adopted. The Investigation Site Plan provides details of the buildings and soil sampling points. Table 3 provides a description of the soil sampling sites. The selection of the sampled locations was

based on site observations and the presence of extensive paint flakes around the building foundations.

The test parameters chosen for the materials include asbestos, Hydrocarbon, and common heavy metals (As, Cd, Cr, Cu, Ni, Pb, Zn, Hg) for the soil and materials obtained from the site.

Two soil sample sites were identified. Samples were taken as composite samples to include several soil samples mixed together from each location. The composite samples of the soil were taken using a stainless-steel trowel and nitrile gloves to avoid contamination of the sample from the sampler. Samples were labelled and placed in prepared sample bottles.

Suspected asbestos material that could not be visually classified onsite and suspected lead-based paint present at the site were also sampled.

The samples were sent to a NATA Accredited Laboratory for analysis. A description of the samples is presented in table 3.

**Table 3: Sample identification and description**

SMK Sample Number	Sample Description	Tested parameters
23-33-1	Soil from the 33 Maitland Street	Hydrocarbon, and heavy metals
23-33-2	Soil from the 35 Maitland Street	Hydrocarbon, and heavy metals
23-33-3	Vinyl tile from Memorial Hall floor	Asbestos in Bulk Solids
23-33-4	Paint flakes	Lead content

## 5.2 Quality Assurance and Quality Control

The sampling was undertaken in accordance with SMK Consultants' standard protocol as presented in Appendix 1. This ensures thorough decontamination of all field equipment before and during testing.

Quality control of sample analysis is achieved by utilising a NATA accredited laboratory. These laboratories follow ASTM standard methods which are supported by internal duplicates and blanks, surrogate spikes, and matrix spikes. ALS Laboratories provide the details of surrogates and spikes, percent recoveries of surrogates and spikes used, as well as instrument detection limits in the Certificate of Analysis.

Field observations are also compared with laboratory results. If inconsistencies are detected, re-sampling and re-analysis of a sample is undertaken.

## 6 Adopted Assessment Criteria

The National Environmental Protection Measure 2013 (NEPM) provides a nationally consistent approach for the assessment of residential site contamination. NEPM presents thresholds for soil and contaminants relating to potential affects on human health and the environment. The guideline values or site criteria are referred to as Health Based Investigation Levels (HIL's) and Groundwater Investigation Levels (GIL's). NSW EPA and National Authorities have prepared other similar documents to provide additional threshold levels for contaminants.

Schedule B (1) – Guidelines on Investigation Levels for Soil and Groundwater (NEPC 2011) were used to establish the appropriate threshold levels for contamination on this site.



The proposed development on the site is characterised to have an intended landuse of Recreational C as it will involve the development of playground and commercial building on the subject site. HIL criteria adopted for this site are based on this classification.

## **7 Field and Analytical results**

### **7.1 Field results**

The following provides details of the field investigation for this site:

#### **7.1.1 33 Maitland Street**

33 Maitland Street is accessible via a narrow laneway adjoining the north side of the Soldiers Memorial Hall as well as rear access to the site via land associated with the Council works depot. The site has served as Gwydir Shire Council office building for a period of approximately 66-years.

At the time of the inspection, renovation work had been undertaken to strip internal walls from the building. This work was noted to involve the removal of most of the wall and ceiling sheeting, floor covers and doors inside the hall and the rooms/offices on the east of the hall. This work was associated with the removal of materials from the building to manage a mould infestation.

The internal part of the building is made of brick, timber, metal sheeting, and non-asbestos wall sheeting.

Asbestos containing material was visually identified on the ceiling and wall of the male and female toilet in the adjoining toilet building east of the Memorial Hall. Asbestos containing material was also visually identified on the upper wall sheeting of the storeroom in an open shed, northwest of the main hall.

The floor tiles within the Memorial Hall consisted of a vinyl tile. These were suspected to contain asbestos due to their age and size. A sample of the floor tile was obtained and sent to NATA accredited laboratory for analysis. This was tested as sample 23-33-3. The analysis indicated that the floor tiles contain Chrysotile (white) asbestos materials. The tiles are possibly 50-years old and were observed to be in a bonded condition.

The external parts of the building and the lawn area around the building was visually inspected for the presence of asbestos and other contaminants. The external wall of the building is made of brick or concrete block.

The roof is a corrugated iron structure. The eaves of the building were considered to be a 1950's/60' feature and therefore a suspected asbestos containing material.

Paint on the external wall of the male and female toilet, window frames, doors, fascia board, and other parts of the Memorial Hall building is suspected to be lead base paint. Some of the paint was in poor condition and paint flakes were identified around the edge of the building and toilet block. Sections where the paint is flaking off the building were observed. Other areas of paint remain in good condition with minimal paint flaking occurring.

A soil sample and paint flake sample were taken from these areas and sent to NATA accredited laboratory for analysis. These samples were marked as 23-33-1 and 23-33-2.

The soil sample had a lead level of 241 mg/kg. This can be compared to a health investigation level of 300 mg/kg for the most stringent use of the land. The paint flake had a lead level of 583 mg/kg which is considered high for paint. The presence of these paint flakes will need to be considered as part of site remediation.

The following provides photographs of 33 Maitland Street.

**Figure 7: Asbestos floor tiles within the Memorial Hall.  
(Sample: 23-33-3).**



**Figure 8: Suspected asbestos containing material on the eaves of the building.**



**Figure 9: Suspected asbestos containing material on the upper wall sheeting of the storeroom.**



### 7.1.2 35 Maitland Street

The site at 35 Maitland Street consists of a commercial building with signage on the front of the building showing the Bingara Veterinary Clinic and Local Landcare office. Historical use of the site included a mechanical workshop which had operated between about 1912 and 2000. Items associated with a mechanical workshop were identified on the eastern section of the site. This included work benches and the original vehicle hoist.

Visual assessment of the site identified internal walls and ceiling of the Bingara Veterinary Clinic and Landcare Office as modern materials. No asbestos material was visible inside the building.

Building materials at the back of the site (eastern sector) include steel, corrugated iron, timber and concrete flooring. The paint on the wall in parts of this area is old and therefore would have an elevated lead level. Paint flakes are scattered on the ground. The paint sample which was tested proved to have a high lead level. The ground surface sample 23-33-2 taken from the rear of these buildings had an elevated lead level of 898 mg/kg. This soil sample did not contain visible paint flakes. The paint flakes on the ground around these buildings will need to be treated as a contaminant and therefore scraped up and removed from the site. An example of this is presented in the following image.

**Figure 10: Paint flakes scattered on the ground adjacent to a flaking painted wall.**



Below ground sewage or water pipes were exposed in one or more locations. The exposed sections of pipe were visually identified as asbestos containing material. This pipe will need to be included in the demolition and remediation process as it appears to be close to the surface and in poor condition.



**Figure 11: Asbestos based pipe exposed.**

The toilet southeast of the building was also assessed for the presence of contaminants. The external walls of the toilet were made of timber with suspected lead based paint, while the internal walls and ceiling of the toilet were visually identified as asbestos sheeting.

**Figure 12: Internal walls of the toilet suspected to be asbestos contaminated material.****Figure 13: Confirmed lead base paint on the walls and topsoil around the toilet building (sample: 23-33-4).**

No hydrocarbon odour was noted on the site. A few bare/dead patches of vegetation were identified across the site. These bare patches of soil can be related to gravelled areas with limited topsoil.

Advice provided by the current owner is that historical works on the site included covering of possibly two below ground fuel tanks. One is suspected to be located beneath the floor of the front office of the Vet Clinic. A second tank is believed to be located within the old workshop area at the back (east) of 35 Maitland Street. If these tanks remain in place, they may have been active until closure of the mechanical workshop in 2000. No vent pipes, bowser locations, or fill points were visible during this site inspection. It is suspected that the tanks have not been in use for more than 30 or 40-years as the sale of fuel was removed from most workshops to actual service stations. Bingara has two remaining services station and both are outside of the commercial precinct.

## 7.2 Laboratory Results and Analysis

Two laboratories were needed to test the samples obtained from this site. One laboratory specialises in dust and asbestos. The second laboratory specialises in soil and water analysis.

The following Table 4 presents results of the soil samples 23-33-1 and 23-33-2. The soil samples were primarily tested for the presence of common metals and a range of hydrocarbons that may have resulted from use of the site as a mechanical workshop.

Table 4 also includes available health Investigation levels from NEPM 2013 Table 1A(1) – Health Investigation level for soil contaminants. For this site, the selected Health Based Investigation level is for a site described as Recreational Level C (HIL-C). Landuse under this classification includes public open space such as parks, playgrounds, playing fields (e.g., ovals), secondary schools, and footpaths. This HIL-C is more stringent than HIL-D which is a Commercial Industrial Use of the land. The published HIL levels are included in table 4 for comparison of the results for the two soil samples.

The Certificate of Analysis for these results are presented in Appendix 2.

The term NL is included in the following tables to indicate No Level for thresholds. These chemicals are assessed through a risk process based on the analyte's risk to human health and the environment.

**Table 4: Summary of soil analysis with NEPM 2013 HIL C - Recreational C Threshold Criteria**

Analyte	Unit	LOR <sup>1</sup>	HIL C - Recreational C	23-33-1	23-33-2
Depth	mm		-	0.5m	0.5m
EA055: Moisture Content (Dried @ 105-110°C)					
Moisture Content	%	1.0	-	11.7	5.2
EG005(ED093)T: Total Metals by ICP-AES					
Arsenic	mg/kg	5	300	10	7
Cadmium	mg/kg	1	90	<1	2
Chromium	mg/kg	2	300	30	26
Copper	mg/kg	5	17000	17	142
Lead	mg/kg	5	600	241	898
Nickel	mg/kg	2	1200	28	22
Zinc	mg/kg	5	30000	345	463
EG035T: Total Recoverable Mercury by FIMS	mg/kg				
Mercury	mg/kg	0.1	80	<0.1	<0.8

Analyte	Unit	LOR <sup>1</sup>	HIL C - Recreational C	23-33-1	23-33-2
EP075(SIM)B: Polynuclear Aromatic Hydrocarbons	mg/kg				
Naphthalene	mg/kg	0.5	170	<0.5	<0.5
Acenaphthylene	mg/kg	0.5	NL*	<0.5	<0.5
Acenaphthene	mg/kg	0.5	NL	<0.5	<0.5
Fluorene	mg/kg	0.5	NL	<0.5	<0.5
Phenanthrene	mg/kg	0.5	NL	<0.5	<0.5
Anthracene	mg/kg	0.5	NL	<0.5	<0.5
Fluoranthene	mg/kg	0.5	NL	<0.5	<0.5
Pyrene	mg/kg	0.5	NL	<0.5	<0.5
Benz(a)anthracene	mg/kg	0.5	NL	<0.5	<0.5
Chrysene	mg/kg	0.5	1	<0.5	<0.5
Benzo(b+j)fluoranthene	mg/kg	0.5	1	<0.5	<0.5
Benzo(k)fluoranthene	mg/kg	0.5	1	<0.5	<0.5
Benzo(a)pyrene	mg/kg	0.5	NL	<0.5	<0.5
Indeno(1.2.3.cd)pyrene	mg/kg	0.5	NL	<0.5	<0.5
Dibenz(a.h)anthracene	mg/kg	0.5	NL	<0.5	<0.5
Benzo(g.h.i)perylene	mg/kg	0.5	NL	<0.5	<0.5
Sum of polycyclic aromatic hydrocarbons	mg/kg	0.5	NL	<0.5	<0.5
Benzo(a)pyrene TEQ (zero)	mg/kg	0.5	NL	<0.5	<0.5
Benzo(a)pyrene TEQ (half LOR)	mg/kg	0.5	NL	0.6	0.6
Benzo(a)pyrene TEQ (LOR)	mg/kg	0.5	NL	1.2	1.2
EP080/071: Total Petroleum Hydrocarbons					
C6 - C9 Fraction	mg/kg	10	NL	<10	<10
C10 - C14 Fraction	mg/kg	50	NL	<50	<50
C15 - C28 Fraction	mg/kg	100	NL	<100	1480
C29 - C36 Fraction	mg/kg	100	NL	<100	1920
C10 - C36 Fraction (sum)	mg/kg	50	NL	<50	3400
EP080/071: Total Recoverable Hydrocarbons - NEPM 2013 Fractions					
C6 – C9 Fraction	mg/kg	120*	180*	<10	<10
C6 - C10 Fraction minus BTEX (F1)	mg/kg	NL	5,100	<10	<10
>C10 - C16 Fraction	mg/kg	25*	120*	<50	<50
>C16 - C34 Fraction	mg/kg	100	5,300	<100	2920
>C34 - C40 Fraction	mg/kg	100	2800	<100	1010
>C10 - C40 Fraction (sum)	mg/kg	50	7,400	<50	3930
>C10 - C16 Fraction minus Naphthalene (F2)	mg/kg	50	NL	<50	<50
EP080: BTEXN					
Benzene	mg/kg	10	50	<0.2	<0.2
Toluene	mg/kg	10	85	<0.5	<0.5
Ethylbenzene	mg/kg	10	70	<0.5	<0.5
meta- & para-Xylene	mg/kg	NL	-	<0.5	<0.5
ortho-Xylene	mg/kg	NL	-	<0.5	<0.5
Total Xylenes	mg/kg	NL	-	<0.5	<0.5
Sum of BTEX	mg/kg	NL	-	<0.2	<0.2
Naphthalene	mg/kg	1	3	<1	<1

**Notes:**



- (1) LOR = Limit of Reporting
- (2) HIL for arsenic assumes 70% oral bioavailability. Site-specific bioavailability may be important and should be considered where appropriate.
- (3) NL – No published threshold

**Source of Threshold Levels:** National Environment Protection (Assessment of Site Contamination) Measure August 2022, Schedule B1-NEPC 2011

Two samples were submitted in relation to lead and asbestos. The lead test was undertaken on a paint flake from old paint to examine the level of lead in the paint. The asbestos samples was a floor tile from within the Memorial Hall. Appendix 3 presents the laboratory certificate of analysis for asbestos and lead for the material obtained from the site during the site investigation. The following table presents a summary of the results.

**Table 5: Summary of the analysed asbestos/paint samples from the site**

Sample ID	Sampling Date	Sample Location	Asbestos/Lead Detected	Asbestos/lead Type
23-33-4	03-02-2023	Floor tile from the Memorial Hall	Yes	Chrysotile
23-33-4	03-02-2023	Paint flake from the building walls	583 mg/kg	Lead based paint

## 8 Discussion

The buildings at 33 and 35 Maitland Street Bingara NSW are both old buildings and have been subject to a range of modifications and renovations. The original structures would not have contained asbestos as this was not widely used for building material until after the 2<sup>nd</sup> World War. Both sites now have asbestos based materials within the building structures including asbestos fibro cement sheeting and asbestos floor tiles. Asbestos based water or sewer pipes are also present on the sites.

The site at 35 Maitland Street has a historical use as a mechanical workshop which introduces issues of fuel and lubricant contamination or residues. Advice received indicates that old fuel tanks are also present beneath the floors of the current building structures.

The risk of contamination identified at these sites during this preliminary assessment includes heavy metals from the paint (lead) and asbestos materials. Hydrocarbon contamination was identified in the soil sample from 35 Maitland Street.

### 8.1 Heavy metals

A sample of the paint flake (sample ID: 23-33-4) obtained from the door on the southern side of the Memorial Hall shows the presence of lead in the paint cover. The paint sample returned a level of 583 mg/kg of lead. This is consistent with historical lead based paints. This is a potential source of contamination on the property as the paint falls off the surfaces and is disturbed during the proposed demolition works. The paint is also scattered on the ground around parts of the building where the paint is highly weathered and flaking off.

Sampling and analysis of the subsoil (sample ID: 23-33-1) below the paint flakes adjacent to 33 Maitland Street (Memorial Hall) indicated the presence of 241 mg/kg of lead in the subsoil which is below the threshold level for the development of a playground.

The soil sample obtained from the middle of the lawn area south of the old mechanical workshop at 35 Maitland Street was also screened for the presence of heavy metals. The composite soil sample (sample ID: 23-33-2) returned a level of 898 mg/kg of lead. The Threshold level established for the intended landuse is 600 mg/kg.

On this basis, the general area around the buildings where paint is flaking off the external surfaces is considered contaminated or will eventually become contaminated as a result of more paint flakes as the lead in the paint is released and becomes absorbed in the soil.

Remediation of the site will therefore need to include scraping of the soil surface around the building edges to a depth of 500mm or more, according to soil test cores. Once the scraping has been done, testing will need to be undertaken to validate that sufficient soil has been removed to ensure the overall lead level in the soils on this site are below a threshold level of 600 mg/kg.

The most stringent HIL for lead in soil is 300 mg/kg which is described as Residential A landuse. Landuses for Residential A include an accessible garden producing home produce, childcare centres with soil access, preschools and primary schools. Such landuses have a risk of soil ingestion or uptake of contamination via garden produce.

It would be preferable to have validation results below 300 mg/kg as an end result of the remediation works.

## 8.2 Hydrocarbons

Historical landuse on 35 Maitland Street included a mechanical workshop. Advice indicates that below ground fuel tanks remain onsite but in a stable condition. Historical landuse on 33 Maitland Street has little or no risk of hydrocarbon contamination.

The concentrations of hydrocarbons (PAH, TRH, TPH, and BTEX) were below the limit of reporting for the composite soil sample collected from 33 Maitland Street. The composite soil sample 23-33-2 from 35 Maitland Street had concentrations of hydrocarbons TPH and TRH above threshold levels for Recreational C landuse. This suggests some historical contamination from oils and fuel remains in the soil as a result of the mechanical workshop activity on the site.

No hydrocarbon contamination would be associated with the Veterinarian practice or the Landcare office.

This area of contamination as identified in the Site Investigation Plan will require remediation in the form of excavation and removal of soil material that has the hydrocarbon contamination. This process will require validation testing to ensure sufficient depth of soil is removed.

The presence of below ground fuel tank within 35 Maitland Street can only be assessed once the buildings and foundation materials are removed during the demolition work. The specific location and potential contamination from these tanks can only be determined by destructive access to the tanks. Once further information is known about the tanks and final site plans are established for the ongoing landuse, the decision to either remove the tanks or backfill them with inert material in-situ can be made. Based on information available, the tanks have not been used for a period of more than 30-years. They may contain old fuel or may have been emptied and filled with concrete or other product.

The tanks will need further investigation once the demolition process is almost completed and access to the tanks is possible using an excavator or similar equipment to dig soil samples from the base of the fuel tanks. The appropriate contamination threshold values for hydrocarbon are included in table 4 above. Soil samples need to be obtained around the base of the tanks to determine the require remediation works.

## 8.3 Asbestos

Asbestos materials were identified at both 33 and 35 Maitland Street.

33 Maitland Street has asbestos containing materials on the eaves of the building, the internal walls of the male and female toilets, the upper wall sheeting in the store shed office outside of the Hall, and vinyl floor tiles of the Memorial Hall.

35 Maitland Street has asbestos materials on the internal walls of the male and female toilets. Asbestos water pipes are exposed in the eastern sector of the property. These pipes would extend beneath the land and to the boundary of the site. It is assumed that these pipes are either water or stormwater pipes. The exposed sections are weathered and damaged but due to the integrity of these pipes, they remain in a bonded condition.

The demolition process for this site will need to commence with the removal of asbestos materials once the construction site is established. The area of asbestos exceeds the minimum of 10 sq.m and therefore asbestos removal will require the services of a Class B Asbestos Removalist. The work will need to include excavation of the below ground asbestos pipe. This process may require removal of concrete foundations/slabs constructed over the original pipes. Excavation and removal of these pipes will require a discovery process.

Once the asbestos is removed, the site will require a Visual Asbestos Clearance Certificate before proceeding to works involving the removal of other building materials. The other building materials once free of asbestos can be subject to recycling or disposal as general building waste without a risk to workers at the Landfill or users of the recycled products.

## **9 Conclusions and Recommendations**

The long-term landuse of 33 and 35 Maitland Street in Bingara has been described as commercial activity in addition to a greenspace. The higher risk from contamination of these two activities is use of the land for greenspace. Uses of a green space may include a park area and playground. The area may or may not include garden beds and grassed areas. Both forms of vegetation would provide minimal exposure to soils and therefore the health investigation levels for this landuse are higher than levels adopted for a residential development or childcare centre under guidelines.

Asbestos based materials were identified at different locations at the site. It is recommended that the asbestos is removed once the site is established as a construction area with a security fence and appropriate exclusion of the public has occurred.

This investigation has identified lead contamination in exceedance of threshold levels adopted for this site. Lead issues are associated with old paint which is flaking off the external walls of some buildings and accumulating in the topsoil around the buildings. A soil sample from the site identified an exceedance level. On this basis, remediation of the site will need to include scraping and removal of soil once the demolition works reaches a point where access to the topsoil is available. The lead has leached into the soil to a depth of 500mm or more.

The process of removing this topsoil after the demolition has all but been completed is recommended on the basis that further paint flakes will accumulate on the ground as the building materials are disturbed during the demolition process.

As a result of the contamination identified on this site, several stages will need to occur in the demolition process. These stages could be addressed as a remediation action plan. The recommended stages of the demolition process is presented below.



**Table 5: Recommended Staging of Demolition Project for 33 and 35 Maitland Street**

Stage	Process	Comment
1	Establishment of exclusion fencing, signage of activities and contact details for site supervision	Standard procedure before asbestos is removed or demolition commences.
2	Removal of asbestos by a Class B Licensed Asbestos assessor	Permits to be obtained from Safework NSW for non-friable asbestos removal.
3	Visual Asbestos Clearance Certificate	To be obtained in accordance with Safework NSW requirements to confirm removal of all asbestos materials.
4	Demolition of buildings	Building materials can be disposed of as general building waste or recycled as asbestos free building waste.
5	Detailed site investigation	Soil sampling to determine depth of excavation of soil for removal of lead and hydrocarbon contamination, locate fuel tanks and review their condition and any contamination from the tanks.
6	Preparation of a Remediation Action Plan (RAP)	To provide specific details for appropriate remediation of the site to the required standards.
7	Site Remediation	In accordance with the RAP
8	Validation	Conduct a site Validation investigation to confirm RAP has been completed to required standards.

Once the remediation is completed and the Validation Report has been prepared, the site can be declared suitable for ongoing use for commercial activities and development of a greenspace within the commercial precinct of Maitland Street.

Signatures :

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Environmental Consultant

*Peter Taylor*

Peter Taylor BSc. MEIANZ CIAg LAA  
Environment and Resource Consultant  
Director  
SMK Consultants

## 10 Limitations

This report is based on observation at the time of the investigation and the history of the site available to the authors. The conclusions and recommendations are based on the scope of works adopted, the methodology presented in this report and the results of laboratory analysis undertaken for this investigation.

## 11 Bibliography

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- Work Health and Safety Act, 2011; and
- Work Health and Safety Regulation, 2011.



## Appendix 1 – Standard Sampling Procedure

### SMK Consultants - Soil Sampling, Storage, Transport and Laboratory Procedures

#### 1. Field sampling

- **Preparation of Equipment** - All equipment to be utilised for the excavation, collection and storage of field samples is to be cleaned prior to entering the investigation site.
- **Onsite Sampling** – All equipment used for sample collection and excavation is to be cleaned between sampling action. Cleaning to be done using clean water and cleaning equipment to be dried prior to the next sampling action to ensure that all soil and water is removed from the sampling implement.
- **Field Observations** – The sampler is to record date of sampling, location of sampling, conditions of sampling (weather), observation of condition of soil, odours, potential contamination, level and type of contamination.
- **Sampling Order** – Where it is envisaged that parts of the investigation area are more contaminated than other parts, the less contaminated areas are to be sampled before contaminated areas.

#### 2. Sample Storage

- All samples are to be placed in cold storage (esky, fridge) and chilled to approximately 3-4 C<sup>0</sup> as soon as practicable.
- All samples are to be documented and forwarded to the selected laboratory as soon as practicable.

#### 3. Transport of Samples

- Chain of Custody forms are to be prepared for inclusion with samples for Transport. Forms are to include project reference, Client, date of sampling, listing of laboratory testing to be done on each sample, sample container description, date of transport, and condition of samples at time of despatch.
- Laboratory to be advised by fax/email of pending arrival date for samples and type of testing to be done. (E.g. Forward a copy of COC form)
- Samples to be securely packed in esky with sufficient ice to maintain the sample temperature at the required level until received by the Laboratory.
- Courier to be contacted for pick-up of samples at latest possible time.

#### 4. Laboratory Analysis

- The laboratory is to prepare a response COC to indicate that samples were delivered in suitable condition to maintain integrity of samples, a list of testing required was received and expected date for issue of results.
- The Laboratory is to undertake the required and documented QC/QA procedures as set out by the national Association of Testing Authorities (NATA)
- Where the Laboratory has its own procedures, these procedures are to be documented and noted on the test results.
- Laboratory to maintain their appropriate system of internal check samples, duplicates and external laboratory comparisons.

#### 5. Correlation of Field Observations and Laboratory Results

- Field observations are to be correlated with laboratory results.
- Where a laboratory result does not correlate with a field observation, the investigation must consider re-sampling of the site to provide additional evidence to determine whether the contamination is present.

#### 6. Laboratory Duplication Requirements

- Laboratory duplications are required during a detailed site investigation where the risk of contamination and the potential consequences of contamination are considered as significant to human health or the environment, or where the laboratory operates this procedure as part of standard quality assurance management practices.
- Duplications are to be in two forms when it is determined that duplications are required.
- Field duplications are to be undertaken at a rate of one sample per 10-field samples. The field duplicate preparation involves obtaining sufficient sample material from the randomly selected point to prepare two samples. The duplicate is to be identified with a reference known to the sampler to ensure that the laboratory is unaware of the field duplicate identification or reference. The duplicate sample is to be tested for the same parameters as the original sample and then results are to be compared once laboratory results are provided. The scientist/sampler is then required to assess the results for the duplicated sample to determine variations in laboratory results. If a significant variation is noted, the laboratory should be advised to enable retesting of the sample to determine whether the results are correct or whether procedural errors have occurred in the laboratory.
- Laboratory duplicates and external duplicates to be determined by the Laboratories QC/QA system. Laboratory to be advised of duplicate requirements prior to submission of samples.

## Appendix 2 – Certificate of Analysis for soil samples



Environmental

## CERTIFICATE OF ANALYSIS

Work Order	: ES2303789	Page	: 1 of 6
Client	: SMK CONSULTANTS PTY LTD	Laboratory	: Environmental Division Sydney
Contact	: MR PETER TAYLOR	Contact	: Customer Services ES
Address	: P.O.Box 774 39 FROME STREET MOREE NSW, AUSTRALIA 2400	Address	: 277-289 Woodpark Road Smithfield NSW Australia 2164
Telephone	: +61 02 6752 1021	Telephone	: +61-2-8784 8555
Project	: 33 Maitland St Bingara	Date Samples Received	: 07-Feb-2023 10:25
Order number	: ----	Date Analysis Commenced	: 07-Feb-2023
C-Q-C number	: ----	Issue Date	: 13-Feb-2023 17:42
Sampler	: ----		
Site	: ----		
Quote number	: EN/333		
No. of samples received	: 2		
No. of samples analysed	: 1		



Accreditation No. 625  
Accredited for compliance with  
ISO/IEC 17025 - Testing

This report supersedes any previous report(s) with this reference. Results apply to the sample(s) as submitted, unless the sampling was conducted by ALS. This document shall not be reproduced, except in full.

This Certificate of Analysis contains the following information:

- General Comments
- Analytical Results
- Surrogate Control Limits

Additional information pertinent to this report will be found in the following separate attachments: Quality Control Report, QA/QC Compliance Assessment to assist with Quality Review and Sample Receipt Notification.

#### Signatories

This document has been electronically signed by the authorized signatories below. Electronic signing is carried out in compliance with procedures specified in 21 CFR Part 11.

Signatories	Position	Accreditation Category
Ankit Joshi	Senior Chemist - Inorganics	Sydney Inorganics, Smithfield, NSW
Edwandy Fadjar	Organic Coordinator	Sydney Organics, Smithfield, NSW
Sanjeshni Jyoti	Senior Chemist Volatiles	Sydney Organics, Smithfield, NSW

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Page : 2 of 6  
 Work Order : ES2303789  
 Client : SMK CONSULTANTS PTY LTD  
 Project : 33 Maitland St Bingara



### General Comments

The analytical procedures used by ALS have been developed from established internationally recognised procedures such as those published by the USEPA, APHA, AS and NEPM. In house developed procedures are fully validated and are often at the client request.

Where moisture determination has been performed, results are reported on a dry weight basis.

Where a reported less than (<) result is higher than the LOR, this may be due to primary sample extract/digestate dilution and/or insufficient sample for analysis.

Where the LOR of a reported result differs from standard LOR, this may be due to high moisture content, insufficient sample (reduced weight employed) or matrix interference.

When sampling time information is not provided by the client, sampling dates are shown without a time component. In these instances, the time component has been assumed by the laboratory for processing purposes.

Where a result is required to meet compliance limits the associated uncertainty must be considered. Refer to the ALS Contract for details.

Key : CAS Number = CAS registry number from database maintained by Chemical Abstracts Services. The Chemical Abstracts Service is a division of the American Chemical Society.

LOR = Limit of reporting

^ = This result is computed from individual analyte detections at or above the level of reporting

ø = ALS is not NATA accredited for these tests.

~ = Indicates an estimated value.

- Benzo(a)pyrene Toxicity Equivalent Quotient (TEQ) per the NEPM (2013) is the sum total of the concentration of the eight carcinogenic PAHs multiplied by their Toxicity Equivalence Factor (TEF) relative to Benzo(a)pyrene. TEF values are provided in brackets as follows: Benz(a)anthracene (0.1), Chrysene (0.01), Benzo(b+j) & Benzo(k)fluoranthene (0.1), Benzo(a)pyrene (1.0), Indeno(1,2,3-cd)pyrene (0.1), Dibenz(a,h)anthracene (1.0), Benzo(g,h,i)perylene (0.01). Less than LOR results for 'TEQ Zero' are treated as zero, for 'TEQ 1/2LOR' are treated as half the reported LOR, and for 'TEQ LOR' are treated as being equal to the reported LOR. Note: TEQ 1/2LOR and TEQ LOR will calculate as 0.6mg/Kg and 1.2mg/Kg respectively for samples with non-detects for all of the eight TEQ PAHs.
- EP080: Where reported, Total Xylenes is the sum of the reported concentrations of m&p-Xylene and o-Xylene at or above the LOR.
- EP075(SIM): Where reported, Total Cresol is the sum of the reported concentrations of 2-Methylphenol and 3- & 4-Methylphenol at or above the LOR.



Page : 3 of 6  
 Work Order : ES2303789  
 Client : SMK CONSULTANTS PTY LTD  
 Project : 33 Maitland St Bingara



### Analytical Results

Sub-Matrix: SOIL (Matrix: SOIL)		Sample ID		23-33-1	----	----	----	----
				33 Maitland Street	----	----	----	----
		Sampling date / time		03-Feb-2023 00:00	----	----	----	----
Compound		CAS Number	LOR	Unit	ES2303789-001	-----	-----	-----
					Result	-----	-----	-----
<b>EA055: Moisture Content (Dried @ 105-110°C)</b>								
Moisture Content	----	1.0	%	11.7	----	----	----	----
<b>EG005(ED093)T: Total Metals by ICP-AES</b>								
Arsenic	7440-38-2	5	mg/kg	10	----	----	----	----
Cadmium	7440-43-9	1	mg/kg	<1	----	----	----	----
Chromium	7440-47-3	2	mg/kg	30	----	----	----	----
Copper	7440-50-8	5	mg/kg	17	----	----	----	----
Lead	7439-92-1	5	mg/kg	241	----	----	----	----
Nickel	7440-02-0	2	mg/kg	28	----	----	----	----
Zinc	7440-66-6	5	mg/kg	345	----	----	----	----
<b>EG035T: Total Recoverable Mercury by FIMS</b>								
Mercury	7439-97-6	0.1	mg/kg	<0.1	----	----	----	----
<b>EP075(SIM)B: Polynuclear Aromatic Hydrocarbons</b>								
Naphthalene	91-20-3	0.5	mg/kg	<0.5	----	----	----	----
Acenaphthylene	208-96-8	0.5	mg/kg	<0.5	----	----	----	----
Acenaphthene	83-32-9	0.5	mg/kg	<0.5	----	----	----	----
Fluorene	86-73-7	0.5	mg/kg	<0.5	----	----	----	----
Phenanthrene	85-01-8	0.5	mg/kg	<0.5	----	----	----	----
Anthracene	120-12-7	0.5	mg/kg	<0.5	----	----	----	----
Fluoranthene	206-44-0	0.5	mg/kg	<0.5	----	----	----	----
Pyrene	129-00-0	0.5	mg/kg	<0.5	----	----	----	----
Benz(a)anthracene	56-55-3	0.5	mg/kg	<0.5	----	----	----	----
Chrysene	218-01-9	0.5	mg/kg	<0.5	----	----	----	----
Benzo(b+j)fluoranthene	205-99-2 205-82-3	0.5	mg/kg	<0.5	----	----	----	----
Benzo(k)fluoranthene	207-08-9	0.5	mg/kg	<0.5	----	----	----	----
Benzo(a)pyrene	50-32-8	0.5	mg/kg	<0.5	----	----	----	----
Indeno(1,2,3-cd)pyrene	193-39-5	0.5	mg/kg	<0.5	----	----	----	----
Dibenz(a,h)anthracene	53-70-3	0.5	mg/kg	<0.5	----	----	----	----
Benzo(g,h,i)perylene	191-24-2	0.5	mg/kg	<0.5	----	----	----	----
^ Sum of polycyclic aromatic hydrocarbons	----	0.5	mg/kg	<0.5	----	----	----	----
^ Benzo(a)pyrene TEQ (zero)	----	0.5	mg/kg	<0.5	----	----	----	----
^ Benzo(a)pyrene TEQ (half LOR)	----	0.5	mg/kg	0.6	----	----	----	----
^ Benzo(a)pyrene TEQ (LOR)	----	0.5	mg/kg	1.2	----	----	----	----
<b>EP080/071: Total Petroleum Hydrocarbons</b>								
C6 - C9 Fraction	----	10	mg/kg	<10	----	----	----	----

Page : 4 of 6  
 Work Order : ES2303789  
 Client : SMK CONSULTANTS PTY LTD  
 Project : 33 Maitland St Bingara



### Analytical Results

Sub-Matrix: SOIL (Matrix: SOIL)		Sample ID		23-33-1	----	----	----	----
		Sampling date / time		33 Maitland Street	----	----	----	----
				03-Feb-2023 00:00	----	----	----	----
Compound	CAS Number	LOR	Unit	ES2303789-001	-----	-----	-----	-----
				Result	----	----	----	----
EP080/071: Total Petroleum Hydrocarbons - Continued								
C10 - C14 Fraction	----	50	mg/kg	<50	----	----	----	----
C15 - C28 Fraction	----	100	mg/kg	<100	----	----	----	----
C29 - C36 Fraction	----	100	mg/kg	<100	----	----	----	----
^ C10 - C36 Fraction (sum)	----	50	mg/kg	<50	----	----	----	----
EP080/071: Total Recoverable Hydrocarbons - NEPM 2013 Fractions								
C6 - C10 Fraction	C6_C10	10	mg/kg	<10	----	----	----	----
^ C6 - C10 Fraction minus BTEX (F1)	C6_C10-BTEX	10	mg/kg	<10	----	----	----	----
>C10 - C16 Fraction	----	50	mg/kg	<50	----	----	----	----
>C16 - C34 Fraction	----	100	mg/kg	<100	----	----	----	----
>C34 - C40 Fraction	----	100	mg/kg	<100	----	----	----	----
^ >C10 - C40 Fraction (sum)	----	50	mg/kg	<50	----	----	----	----
^ >C10 - C16 Fraction minus Naphthalene (F2)	----	50	mg/kg	<50	----	----	----	----
EP080: BTEXN								
Benzene	71-43-2	0.2	mg/kg	<0.2	----	----	----	----
Toluene	108-88-3	0.5	mg/kg	<0.5	----	----	----	----
Ethylbenzene	100-41-4	0.5	mg/kg	<0.5	----	----	----	----
meta- & para-Xylene	108-38-3 106-42-3	0.5	mg/kg	<0.5	----	----	----	----
ortho-Xylene	95-47-6	0.5	mg/kg	<0.5	----	----	----	----
^ Sum of BTEX	----	0.2	mg/kg	<0.2	----	----	----	----
^ Total Xylenes	----	0.5	mg/kg	<0.5	----	----	----	----
Naphthalene	91-20-3	1	mg/kg	<1	----	----	----	----
EP075(SIM)S: Phenolic Compound Surrogates								
Phenol-d6	13127-88-3	0.5	%	91.3	----	----	----	----
2-Chlorophenol-D4	93951-73-6	0.5	%	93.9	----	----	----	----
2,4,6-Tribromophenol	118-79-6	0.5	%	73.1	----	----	----	----
EP075(SIM)T: PAH Surrogates								
2-Fluorobiphenyl	321-60-8	0.5	%	103	----	----	----	----
Anthracene-d10	1719-06-8	0.5	%	101	----	----	----	----
4-Terphenyl-d14	1718-51-0	0.5	%	117	----	----	----	----
EP080S: TPH(V)/BTEX Surrogates								
1,2-Dichloroethane-D4	17060-07-0	0.2	%	97.0	----	----	----	----
Toluene-D8	2037-26-5	0.2	%	101	----	----	----	----

Page : 5 of 6  
Work Order : ES2303789  
Client : SMK CONSULTANTS PTY LTD  
Project : 33 Maitland St Bingara



### Analytical Results

Sub-Matrix: SOIL  
(Matrix: SOIL)

Sample ID

23-33-1

33 Maitland Street

Sampling date / time

03-Feb-2023 00:00

Compound

CAS Number

LOR

Unit

ES2303789-001

Result

#### EP080S: TPH(V)/BTEX Surrogates - Continued

4-Bromofluorobenzene

460-00-4

0.2

%

103



Page : 6 of 6  
 Work Order : ES2303789  
 Client : SMK CONSULTANTS PTY LTD  
 Project : 33 Maitland St Bingara



### Surrogate Control Limits

Sub-Matrix: SOIL		Recovery Limits (%)	
Compound	CAS Number	Low	High
<b>EP075(SIM)S: Phenolic Compound Surrogates</b>			
Phenol-d6	13127-88-3	63	123
2-Chlorophenol-D4	93951-73-6	66	122
2,4,6-Tribromophenol	118-79-6	40	138
<b>EP075(SIM)T: PAH Surrogates</b>			
2-Fluorobiphenyl	321-80-8	70	122
Anthracene-d10	1719-06-8	66	128
4-Terphenyl-d14	1718-51-0	65	129
<b>EP080S: TPH(V)/BTEX Surrogates</b>			
1,2-Dichloroethane-D4	17060-07-0	73	133
Toluene-D8	2037-26-5	74	132
4-Bromofluorobenzene	460-00-4	72	130



## CERTIFICATE OF ANALYSIS

Work Order	: ES2305090	Page	: 1 of 6
Client	: SMK CONSULTANTS PTY LTD	Laboratory	: Environmental Division Sydney
Contact	: MR PETER TAYLOR	Contact	: Customer Services ES
Address	: P.O.Box 774 39 FROME STREET MOREE NSW, AUSTRALIA 2400	Address	: 277-289 Woodpark Road Smithfield NSW Australia 2164
Telephone	: +61 02 6752 1021	Telephone	: +61-2-8784 8555
Project	: 33 Maitland St Bingara	Date Samples Received	: 16-Feb-2023 12:00
Order number	: ---	Date Analysis Commenced	: 20-Feb-2023
C-O-C number	: ---	Issue Date	: 22-Feb-2023 16:56
Sampler	: ---		
Site	: ---		
Quote number	: EN/333		
No. of samples received	: 1		
No. of samples analysed	: 1		



Accreditation No. 825  
Accredited for compliance with  
ISO/IEC 17025 - Testing

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- Analytical Results
- Surrogate Control Limits

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### Signatories

This document has been electronically signed by the authorized signatories below. Electronic signing is carried out in compliance with procedures specified in 21 CFR Part 11.

Signatories	Position	Accreditation Category
Ankit Joshi	Senior Chemist - Inorganics	Sydney Inorganics, Smithfield, NSW
Edwandy Fadjar	Organic Coordinator	Sydney Inorganics, Smithfield, NSW
Edwandy Fadjar	Organic Coordinator	Sydney Organics, Smithfield, NSW

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Page : 2 of 6  
 Work Order : ES2305090  
 Client : SMK CONSULTANTS PTY LTD  
 Project : 33 Maitland St Bingara



### General Comments

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Where moisture determination has been performed, results are reported on a dry weight basis.

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When sampling time information is not provided by the client, sampling dates are shown without a time component. In these instances, the time component has been assumed by the laboratory for processing purposes.

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Key : CAS Number = CAS registry number from database maintained by Chemical Abstracts Services. The Chemical Abstracts Service is a division of the American Chemical Society.

LOR = Limit of reporting

^ = This result is computed from individual analyte detections at or above the level of reporting

ø = ALS is not NATA accredited for these tests.

~ = Indicates an estimated value.

- Benzo(a)pyrene Toxicity Equivalent Quotient (TEQ) per the NEPM (2013) is the sum total of the concentration of the eight carcinogenic PAHs multiplied by their Toxicity Equivalence Factor (TEF) relative to Benzo(a)pyrene. TEF values are provided in brackets as follows: Benz(a)anthracene (0.1), Chrysene (0.01), Benzo(b+j) & Benzo(k)fluoranthene (0.1), Benzo(a)pyrene (1.0), Indeno(1,2,3-cd)pyrene (0.1), Dibenz(a,h)anthracene (1.0), Benzo(g,h,i)perylene (0.01). Less than LOR results for 'TEQ Zero' are treated as zero, for 'TEQ 1/2LOR' are treated as half the reported LOR, and for 'TEQ LOR' are treated as being equal to the reported LOR. Note: TEQ 1/2LOR and TEQ LOR will calculate as 0.6mg/Kg and 1.2mg/Kg respectively for samples with non-detects for all of the eight TEQ PAHs.
- EP080: Where reported, Total Xylenes is the sum of the reported concentrations of m&p-Xylene and o-Xylene at or above the LOR.
- EP075(SIM): Where reported, Total Cresol is the sum of the reported concentrations of 2-Methylphenol and 3- & 4-Methylphenol at or above the LOR.
- EG035: Positive Mercury result for ES2305090 #001 has been confirmed by reanalysis.



Page : 3 of 6  
 Work Order : ES2305090  
 Client : SMK CONSULTANTS PTY LTD  
 Project : 33 Maitland St Bingara



### Analytical Results

Sub-Matrix: SOIL  
 (Matrix: SOIL)

Sample ID

				23-33-2				
				35 Maitland Street - old car yard				
Sampling date / time				15-Feb-2023 00:00				
Compound				ES2305090-001				
CAS Number								
LOR								
Unit								
Result								
<b>EA055: Moisture Content (Dried @ 105-110°C)</b>								
Moisture Content		1.0	%	5.2				
<b>EG005(ED093)T: Total Metals by ICP-AES</b>								
Arsenic	7440-38-2	5	mg/kg	7				
Cadmium	7440-43-9	1	mg/kg	2				
Chromium	7440-47-3	2	mg/kg	26				
Copper	7440-50-8	5	mg/kg	142				
Lead	7439-92-1	5	mg/kg	898				
Nickel	7440-02-0	2	mg/kg	22				
Zinc	7440-66-6	5	mg/kg	463				
<b>EG035T: Total Recoverable Mercury by FIMS</b>								
Mercury	7439-97-6	0.1	mg/kg	0.8				
<b>EP075(SIM)B: Polynuclear Aromatic Hydrocarbons</b>								
Naphthalene	91-20-3	0.5	mg/kg	<0.5				
Acenaphthylene	208-96-8	0.5	mg/kg	<0.5				
Acenaphthene	83-32-9	0.5	mg/kg	<0.5				
Fluorene	86-73-7	0.5	mg/kg	<0.5				
Phenanthrene	85-01-8	0.5	mg/kg	<0.5				
Anthracene	120-12-7	0.5	mg/kg	<0.5				
Fluoranthene	206-44-0	0.5	mg/kg	<0.5				
Pyrene	129-00-0	0.5	mg/kg	<0.5				
Benzo(a)anthracene	56-55-3	0.5	mg/kg	<0.5				
Chrysene	218-01-9	0.5	mg/kg	<0.5				
Benzo(b+j)fluoranthene	205-99-2 205-82-3	0.5	mg/kg	<0.5				
Benzo(k)fluoranthene	207-08-9	0.5	mg/kg	<0.5				
Benzo(a)pyrene	50-32-8	0.5	mg/kg	<0.5				
Indeno(1,2,3-cd)pyrene	193-39-5	0.5	mg/kg	<0.5				
Dibenz(a,h)anthracene	53-70-3	0.5	mg/kg	<0.5				
Benzo(g,h,i)perylene	191-24-2	0.5	mg/kg	<0.5				
^ Sum of polycyclic aromatic hydrocarbons		0.5	mg/kg	<0.5				
^ Benzo(a)pyrene TEQ (zero)		0.5	mg/kg	<0.5				
^ Benzo(a)pyrene TEQ (half LOR)		0.5	mg/kg	0.6				
^ Benzo(a)pyrene TEQ (LOR)		0.5	mg/kg	1.2				
<b>EP080/071: Total Petroleum Hydrocarbons</b>								

Page : 4 of 6  
 Work Order : ES2305090  
 Client : SMK CONSULTANTS PTY LTD  
 Project : 33 Maitland St Bingara



### Analytical Results

Sub-Matrix: SOIL  
 (Matrix: SOIL)

Sample ID				23-33-2	----	----	----	----
				35 Maitland Street - old car yard	----	----	----	----
Sampling date / time				15-Feb-2023 00:00	----	----	----	----
Compound				ES2305090-001	-----	-----	-----	-----
CAS Number				Result	-----	-----	-----	-----
LOR					-----	-----	-----	-----
Unit					-----	-----	-----	-----
<b>EP080/071: Total Petroleum Hydrocarbons - Continued</b>								
C6 - C9 Fraction	----	10	mg/kg	<10	----	----	----	----
C10 - C14 Fraction	----	50	mg/kg	<50	----	----	----	----
C15 - C28 Fraction	----	100	mg/kg	1480	----	----	----	----
C29 - C36 Fraction	----	100	mg/kg	1920	----	----	----	----
<sup>^</sup> C10 - C36 Fraction (sum)	----	50	mg/kg	3400	----	----	----	----
<b>EP080/071: Total Recoverable Hydrocarbons - NEPM 2013 Fractions</b>								
C6 - C10 Fraction	C6_C10	10	mg/kg	<10	----	----	----	----
<sup>^</sup> C6 - C10 Fraction minus BTEX (F1)	C6_C10-BTEX	10	mg/kg	<10	----	----	----	----
>C10 - C16 Fraction	----	50	mg/kg	<50	----	----	----	----
>C16 - C34 Fraction	----	100	mg/kg	2920	----	----	----	----
>C34 - C40 Fraction	----	100	mg/kg	1010	----	----	----	----
<sup>^</sup> >C10 - C40 Fraction (sum)	----	50	mg/kg	3930	----	----	----	----
<sup>^</sup> >C10 - C16 Fraction minus Naphthalene (F2)	----	50	mg/kg	<50	----	----	----	----
<b>EP080: BTEXN</b>								
Benzene	71-43-2	0.2	mg/kg	<0.2	----	----	----	----
Toluene	108-88-3	0.5	mg/kg	<0.5	----	----	----	----
Ethylbenzene	100-41-4	0.5	mg/kg	<0.5	----	----	----	----
meta- & para-Xylene	108-38-3 106-42-3	0.5	mg/kg	<0.5	----	----	----	----
ortho-Xylene	95-47-6	0.5	mg/kg	<0.5	----	----	----	----
<sup>^</sup> Sum of BTEX	----	0.2	mg/kg	<0.2	----	----	----	----
<sup>^</sup> Total Xylenes	----	0.5	mg/kg	<0.5	----	----	----	----
Naphthalene	91-20-3	1	mg/kg	<1	----	----	----	----
<b>EP075(SIM)S: Phenolic Compound Surrogates</b>								
Phenol-d6	13127-88-3	0.5	%	79.1	----	----	----	----
2-Chlorophenol-D4	93951-73-6	0.5	%	78.4	----	----	----	----
2,4,6-Tribromophenol	118-79-6	0.5	%	85.0	----	----	----	----
<b>EP075(SIM)T: PAH Surrogates</b>								
2-Fluorobiphenyl	321-60-8	0.5	%	96.0	----	----	----	----
Anthracene-d10	1719-06-8	0.5	%	89.6	----	----	----	----
4-Terphenyl-d14	1718-51-0	0.5	%	91.8	----	----	----	----
<b>EP080S: TPH(V)/BTEX Surrogates</b>								

Page : 5 of 6  
 Work Order : ES2305090  
 Client : SMK CONSULTANTS PTY LTD  
 Project : 33 Maitland St Bingara



### Analytical Results

Sub-Matrix: SOIL  
 (Matrix: SOIL)

				Sample ID				
				23-33-2	----	----	----	----
				35 Maitland Street - old car yard				
Sampling date / time				15-Feb-2023 00:00	----	----	----	----
Compound	CAS Number	LOR	Unit	ES2305090-001	-----	-----	-----	-----
				Result	----	----	----	----
<b>EP080S: TPH(V)/BTEX Surrogates - Continued</b>								
1,2-Dichloroethane-D4	17060-07-0	0.2	%	106	----	----	----	----
Toluene-D8	2037-26-5	0.2	%	102	----	----	----	----
4-Bromofluorobenzene	460-00-4	0.2	%	106	----	----	----	----



Page : 6 of 6  
 Work Order : ES2305090  
 Client : SMK CONSULTANTS PTY LTD  
 Project : 33 Maitland St Bingara



### Surrogate Control Limits

Sub-Matrix: SOIL		Recovery Limits (%)	
Compound	CAS Number	Low	High
<b>EP075(SIM)S: Phenolic Compound Surrogates</b>			
Phenol-d6	13127-86-3	63	123
2-Chlorophenol-D4	93951-73-6	66	122
2,4,6-Tribromophenol	118-79-6	40	138
<b>EP075(SIM)T: PAH Surrogates</b>			
2-Fluorobiphenyl	321-60-8	70	122
Anthracene-d10	1719-06-8	66	128
4-Terphenyl-d14	1718-51-0	65	129
<b>EP080S: TPH(V)/BTEX Surrogates</b>			
1,2-Dichloroethane-D4	17060-07-0	73	133
Toluene-D8	2037-26-5	74	132
4-Bromofluorobenzene	460-00-4	72	130

## Appendix 3: Certificate of Analysis for Paint and Asbestos Samples



### CERTIFICATE OF ANALYSIS

<b>Work Order</b> : EN2301192 <b>Client</b> : SMK CONSULTANTS PTY LTD <b>Contact</b> : MR PETER TAYLOR <b>Address</b> : P.O.Box 774 39 FROME STREET MOREE NSW, AUSTRALIA 2400 : +61 02 6752 1021 <b>Project</b> : 23-33 33 Maitland Street Bingara <b>Order number</b> : --- <b>C-O-C number</b> : --- <b>Sampler</b> : --- <b>Site</b> : --- <b>Quote number</b> : EN/333 <b>No. of samples received</b> : 2 <b>No. of samples analysed</b> : 2	<b>Page</b> : 1 of 4 <b>Laboratory</b> : Environmental Division Newcastle <b>Contact</b> : <b>Address</b> : 5/585 Maitland Road Mayfield West NSW Australia 2304 <b>Telephone</b> : +61 2 4014 2500 <b>Date Samples Received</b> : 07-Feb-2023 11:20 <b>Date Analysis Commenced</b> : 08-Feb-2023 <b>Issue Date</b> : 16-Feb-2023 15:30
---	--




Accreditation No. 825  
 Accredited for compliance with  
 ISO/IEC 17025 - Testing

This report supersedes any previous report(s) with this reference. Results apply to the sample(s) as submitted, unless the sampling was conducted by ALS. This document shall not be reproduced, except in full.

This Certificate of Analysis contains the following information:

- General Comments
- Analytical Results
- Descriptive Results

Additional information pertinent to this report will be found in the following separate attachments: Quality Control Report, QA/QC Compliance Assessment to assist with Quality Review and Sample Receipt Notification.

---

**Signatories**  
 This document has been electronically signed by the authorized signatories below. Electronic signing is carried out in compliance with procedures specified in 21 CFR Part 11.

Signatories	Position	Accreditation Category
Alana Smylie	Team Leader - Asbestos	Newcastle - Asbestos, Mayfield West, NSW
Ivan Taylor	Analyst	Sydney Inorganics, Smithfield, NSW

---

RIGHT SOLUTIONS | RIGHT PARTNER

Page : 2 of 4  
 Work Order : EN2301192  
 Client : SMK CONSULTANTS PTY LTD  
 Project : 23-33 33 Maitland Street Bingara



### General Comments

The analytical procedures used by ALS have been developed from established internationally recognised procedures such as those published by the USEPA, APHA, AS and NEPM. In house developed procedures are fully validated and are often at the client request.

Where moisture determination has been performed, results are reported on a dry weight basis.

Where a reported less than (<) result is higher than the LOR, this may be due to primary sample extract/digestate dilution and/or insufficient sample for analysis.

Where the LOR of a reported result differs from standard LOR, this may be due to high moisture content, insufficient sample (reduced weight employed) or matrix interference.

When sampling time information is not provided by the client, sampling dates are shown without a time component. In these instances, the time component has been assumed by the laboratory for processing purposes.

Where a result is required to meet compliance limits the associated uncertainty must be considered. Refer to the ALS Contract for details.

Key : CAS Number = CAS registry number from database maintained by Chemical Abstracts Services. The Chemical Abstracts Service is a division of the American Chemical Society.  
 LOR = Limit of reporting  
 ^ = This result is computed from individual analyte detections at or above the level of reporting  
 ø = ALS is not NATA accredited for these tests.  
 ~ = Indicates an estimated value.

- EG005P conducted by ALS Sydney, NATA accreditation no. 825, site no 10911.
- EA200: Asbestos Identification Samples were analysed by Polarised Light Microscopy including dispersion staining.
- EG005P: Poor precision was obtained for Lead on sample ES2303876 #1 due to sample heterogeneity. Results have been confirmed by re-extraction and reanalysis.
- EA200 Legend
  - EA200 'Am' Amosite (brown asbestos)
  - EA200 'Cr' Crocidolite (blue asbestos)
  - EA200 'Ch' Chrysotile (white asbestos)
  - EA200: 'UMF' Unknown Mineral Fibres. "-" indicates fibres detected may or may not be asbestos fibres. Confirmation by alternative techniques is recommended.
  - EA200: Analysis of asbestos from swabs and tapes is not covered under the current scope of NATA accreditation.
  - EA200: N/A - Not Applicable





Page : 3 of 4  
 Work Order : EN2301192  
 Client : SMK CONSULTANTS PTY LTD  
 Project : 23-33 33 Maitland Street Bingara

### Analytical Results

Sub-Matrix: PAINT  
 (Matrix: SOIL)

				Sample ID	23-33-4				
					Wall paint				
				Sampling date / time	03-Feb-2023 00:00				
Compound	CAS Number	LOR	Unit	EN2301192-002					
				Result					
<b>EG005(ED093)T: Total Metals by ICP-AES</b>									
Lead	7439-92-1	5.00	mg/kg	583					

Page : 4 of 4  
 Work Order : EN2301192  
 Client : SMK CONSULTANTS PTY LTD  
 Project : 23-33 33 Maitland Street Bingara



### Analytical Results

Sub-Matrix: **SOLID**  
 (Matrix: **SOLID**)

Sample ID

				23-33-3	----	----	----	----
				Linoleum tile from the floor	----	----	----	----
				Sampling date / time	03-Feb-2023 00:00	----	----	----
Compound	CAS Number	LOR	Unit	EN2301192-001	-----	-----	-----	-----
				Result	-----	-----	-----	-----
<b>EA200: AS 4964 - 2004 Identification of Asbestos in bulk samples</b>								
Asbestos Detected	1332-21-4	0.1	g/kg	Yes	----	----	----	----
Asbestos Type	1332-21-4	-	---	Ch	----	----	----	----
Asbestos (Trace)	1332-21-4	5	Fibres	N/A	----	----	----	----
Sample weight (dry)	----	0.01	g	8.31	----	----	----	----
Synthetic Mineral Fibre	----	-	-	No	----	----	----	----
Organic Fibre	----	-	-	No	----	----	----	----
APPROVED IDENTIFIER:	----	-	---	A. SMYLIE	----	----	----	----

### Analytical Results

#### Descriptive Results

Sub-Matrix: **SOLID**

Method: Compound	Sample ID - Sampling date / time	Analytical Results
<b>EA200: AS 4964 - 2004 Identification of Asbestos in bulk samples</b>		
EA200: Description	23-33-3 Linoleum tile from the floor - 03-Feb-2023 00:00	Two pieces of asbestos vinyl tile.

### Inter-Laboratory Testing

Analysis conducted by ALS Sydney, NATA accreditation no. 825, site no. 10911 (Chemistry) 14913 (Biology).

(SOIL) EG005(ED093)T: Total Metals by ICP-AES



David C. Jones (Consulting Engineers) Pty Ltd  
ACN 001 816 039 ABN/GST No. 65 001 816 039  
51 Lewin Street, Inverell, NSW, Australia, 2360  
Telephone (02) 6721 0222 International +61 2 6721 0222  
Facsimile (02) 6721 0111 International +61 2 6721 0111  
Mobile 0427 210222 International +61 427 210222  
E mail: david@dcjones.com  
David C. Jones: BE, MEngSc, FIEAust, Chartered  
Professional Engineer No 384884, NPER Civil and Structural  
Registered Professional Engineer Queensland No. 2125  
Registered Building Practitioner Victoria No. EC-2289

## David C. Jones

### Consulting Civil and Structural Engineers



"Bridging the Gap between Cost Effectiveness and Excellence"  
**Service to Inverell and District Since 1974**  
Flood Forecasting for Inverell SES as a Free Community Service Since 1976

15th July 2023  
2023074488 is Our Reference

General Manager,  
Gwydir Shire Council,  
Maitland Street,  
BINGARA NSW 2404

Attention: Alex Eddy: 0409 094 432: Email: [aeddy@gwydir.nsw.gov.au](mailto:aeddy@gwydir.nsw.gov.au)

#### GWYDIR SHIRE COUNCIL

Environmental Planning & Assessment Act 1979

DEVELOPMENT APPLICATION NO: DA 24/2023

CONSTRUCTION CERTIFICATE NO: -

COMPLYING DEVELOPMENT

CERTIFICATE NO: -

APPROVED

This is the Plan/Specification relating to the Development Consent,

Construction Certificate or Complying Development Certificate.

*Alex Eddy* 28/9/2023

Authorised Officer Date

Dear Sir,

## Structural Engineer's Report

### Re: Possible Retention of Facade of Soldiers Memorial Hall in Maitland Street Bingara

#### Preamble

I inspected the facade on 6th July 2023 in the presence of Max Eastcott, General Manager of Gwydir Shire Council and Alex Eddy, Director of Engineering Services. The meeting was to assess the condition of the structure, with a view to retaining the facade and verandah when the buildings behind it are demolished to create a park.

Prior to the facade being constructed, there was a building used as a School of Arts, which was erected in 1909. In 1922, after the First World War, a full width public hall was constructed behind the



Photograph 1. The facade looking south-east.



Photograph 2. The facade with the building and hall behind and public toilets at the left.



**2023074488: David C. Jones: 15th July 2023: Retention of Facade of Soldiers' Memorial Hall in Maitland Street Bingara cont**

School of Arts building and the building was converted to Shire offices.

At the same time, an imposing facade, tee shaped in plan with a full-width verandah, with the top the tee against the full width of the existing School of Arts Building, was erected between the front wall of the School of Arts building and the facade. A protrusion in the centre of the front creates an imposing frontage to the facade (refer to Photograph 1). Photograph 2 shows the facade, office block with the public hall behind, with public toilets at the left.

The facade and verandah are in good structural condition and well maintained. Foundation conditions in this part of Bingara are sound.

The offices behind the facade have a major rising damp problem and are no longer in use.

**Structural Adequacy**

I believe that the structural integrity of the facade, verandah and the front wall of the offices will be enhanced provided that nib walls created from the four former walls, being the two external side walls and the walls on either side of the internal hallway referred to in Photographs 6, 7 and 8 on page 3 running from the front office wall towards the east, are maintained to reinforce the front wall which will become the rear wall of the front verandah.

Three of the four nib walls should extend to the western edge of the nearest door/window openings towards the east, and the fourth wall along the southern side wall shall be cut to match the width of the other nibs. These nibs will stiffen the facade and verandah making the facade a free-standing item, incorporating the front wall of the original building.

The nib walls must be rendered to make them structurally sound and waterproof.



Photograph 3. The verandah looking south-east. The two windows are in the front wall of the former School of Arts building.



Photograph 4. The verandah looking north-east. The windows and door are in the front wall of the former School of Arts building.



**2023074488: David C. Jones: 15th July 2023: Retention of Facade of Soldiers' Memorial Hall in Maitland Street Bingara cont**



Photograph 5. The facade viewed from the southern side looking north-east. The facade is not symmetrical from the front having the verandah on the southern side shorter than on the northern side.



Photograph 6. Inside the building looking north-west. The northern side wall at the right will be removed retaining a nib at the window opening to stiffen the front wall.



Photograph 7. Inside the building looking north-west. The two walls which formed the central hallway at right will be removed retaining a nib at the door openings to stiffen the front wall.



Photograph 8. Inside the building looking south-west. The wall at the left which formed the southern side wall will be removed retaining a nib matching the other three nibs to stiffen the front wall.



**2023074488: David C. Jones: 15th July 2023: Retention of Facade  
of Soldiers' Memorial Hall in Maitland Street Bingara cont**



Photograph 9. The roof over the verandah looking north. The back wall of the verandah is directly under the cream painted gable end, also shown in photograph 11.



Photograph 10. The ridgeline running from left to lower right is running west into the protuberance which is the front of the facade. A line from the metal bracket on the roof along the line of roof screws is where the rear wall of the verandah is located.



Photograph 11. The cream painted gable end at the upper left is in the vertical plane of the rear of the verandah.



Photograph 12. A line from the metal bracket on the roof along the line of roof screws is where the rear wall of the verandah is located.



Photograph 13. The ridgeline running from left to right is running west into the protuberance which is the front of the facade. The ridgeline running from upper to lower left is approximately one metre west of the rear wall of the verandah.



Photograph 14. The gable end in Photograph 11 is hidden from view in this photograph but is in the vertical plane of the rear of the verandah. The rear edge of the verandah parapet is visible beyond the solar panels.



**2023074488: David C. Jones: 15th July 2023: Retention of Facade of Soldiers' Memorial Hall in Maitland Street Bingara cont**

**Roof Structure**

The roof of the whole building will need modification. Photographs 9 to 15 on pages 4 and 5 show the roof above the parapet and verandah.

When the building, rearward of the rear wall of the verandah is demolished leaving the four nibs on the eastern side of the rear verandah wall, the roof structure will require modification at the vertical plane of the rear verandah wall.

Any gap between the top of the brickwork and the underside of the roof cladding will require a timber framed wall extending up from the brickwork to the underside of the roof rafters. It will need to be lined with Hardies blueboard or similar coated with a waterproof texture coat and painted. The top edge of the roof cladding will need to be flashed to the new wall.



Photograph 15. Looking north from adjacent building roof. A straight line from the metal bracket to the face of the cream painted gable in the distance is the approximate line of the rear verandah wall.

**Estimated Cost of the Work**

Sawcuts in walls to create nib walls \$10,000, timber framed wall above the rear brick wall of verandah to support the roof clad with Hardies board with texture coat with flashings \$15,000, concrete floors/ramps east of the rear wall of verandah, rendering of walls and openings \$20,000, painting \$10,000, miscellaneous \$10,000, total \$65,000. This is an estimate only and excludes the demolition of the remainder of the building rearwards and the hall.

**Conclusion**

If you have any queries, please do not hesitate to contact the undersigned.

Yours faithfully,

David C. Jones  
Chartered Professional Engineer  
for and on behalf of  
David C. Jones (Consulting Engineers) Pty Ltd ABN 65 001 816 039



## Appendix 5 – Copy of Survey Plan



FOLIO: 1/209422

-----

SEARCH DATE	TIME	EDITION NO	DATE
-----	----	-----	----
17/2/2022	3:43 PM	7	8/9/2018

LAND

----

LOT 1 IN DEPOSITED PLAN 209422  
AT BINGARA  
LOCAL GOVERNMENT AREA GWYDIR  
PARISH OF BINGARA COUNTY OF MURCHISON  
TITLE DIAGRAM DP209422

FIRST SCHEDULE

-----

NANCY HELEN MACINNES (T AA570546)

SECOND SCHEDULE (4 NOTIFICATIONS)

-----

- 1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- 2 BK 1566 NO 614 BK 1701 NO 95 RIGHTS OF WAY AFFECTING THE PART OF THE  
LAND ABOVE DESCRIBED SHOWN AS RIGHT OF WAY IN THE  
TITLE DIAGRAM
- 3 AA570547 MORTGAGE TO WESTPAC BANKING CORPORATION
- 4 AH101160 LEASE TO COMMUNITY MUTUAL LIMITED OF BANKING  
CHAMBER, GROUND FLOOR, 40 MAITLAND STREET, BINGARA.  
EXPIRES: 31/12/2016. OPTION OF RENEWAL: TWO OPTIONS OF  
THREE YEARS EACH.

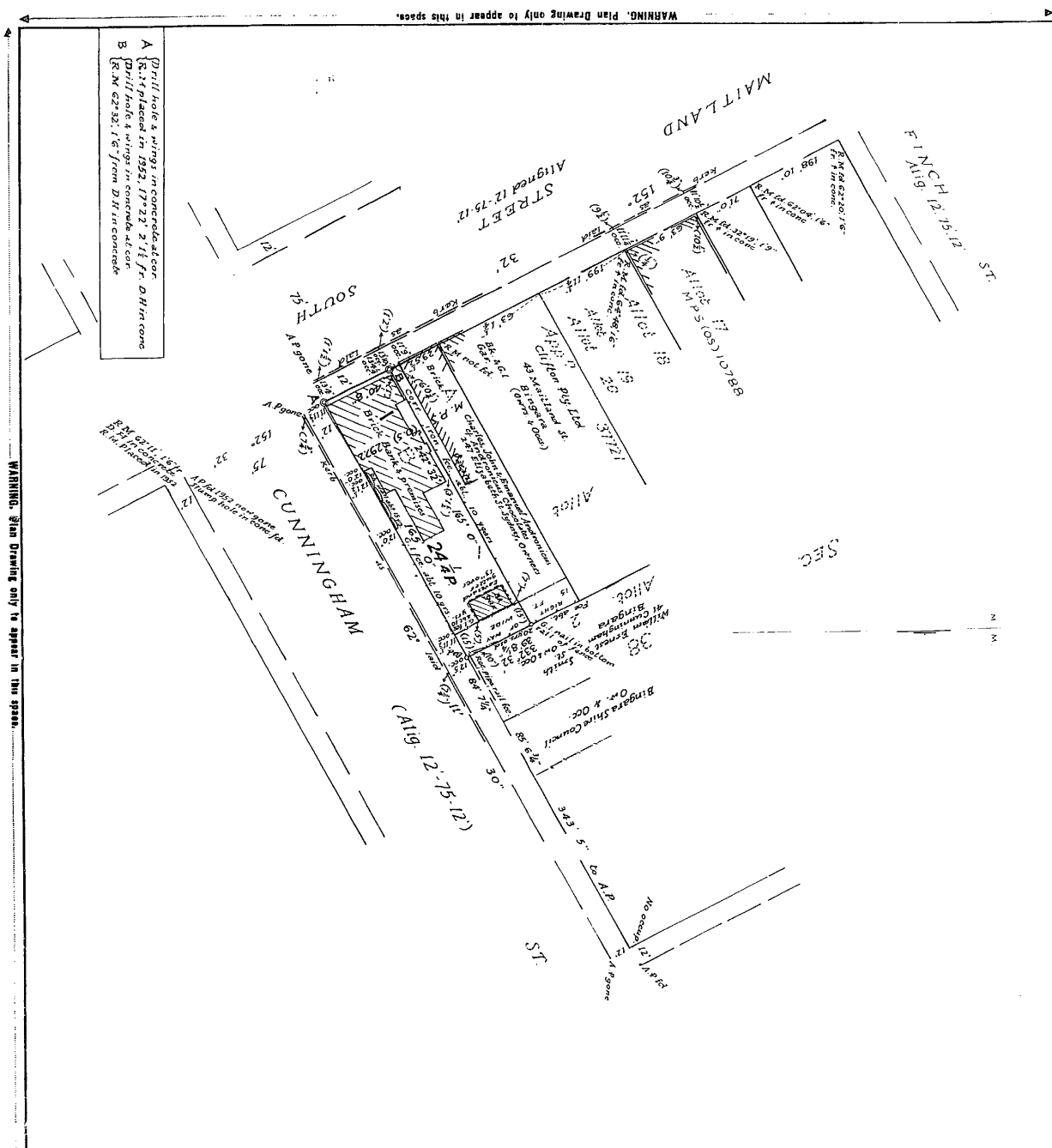
NOTATIONS

-----

UNREGISTERED DEALINGS: NIL

\*\*\* END OF SEARCH \*\*\*





**WARNING. Plan Drawing only to appear in this space.**

A { Drill hole & wings in concrete at cor.  
R. it placed in 1952, 17° 22' 2 1/2" fr. D.H. in concrete  
B { Drill hole & wings in concrete at cor.  
R. M 62° 32', 1' 6" from D.H. in concrete

[illegible]

OFFICE USE ONLY.

CONVERSION TABLE ADDED IN REGISTER GENERAL'S DEPARTMENT			
OP 2019422			
FEET	INCHES	ME/FRES	
-	0 1/4	0.006	
-	1	0.025	
-	2	0.127	
-	3	0.177	
-	7 3/4	0.187	
-	9 1/2	0.281	
-	10	0.254	
-	10 1/2	0.267	
-	10 3/4	0.273	
1	1 1/2	0.343	
1	2	0.356	
1	6	0.437	
1	9	0.477	
3	1 1/2	0.983	
3	0 1/4	1.835	
11	9	3.581	
11	10 1/2	3.650	
11	11 1/4	3.659	
11	11 1/2	3.685	
12	1	3.658	
12	1 1/2	3.656	
12	8	3.658	
12	9	3.684	
13	4 1/4	4.070	
13	10 1/2	4.259	
15	1	4.572	
15	9 1/2	9.061	
39	0 1/4	12.097	
40	4	12.095	
63	1 1/4	19.254	
83	9	29.451	
83	9	29.451	
75	7 1/4	25.787	
86	6 3/4	26.079	
165	5	50.292	
199	60.604	60.604	
139	60.954	60.954	
343	5	104.673	
AC RD P	SQ M		
- - 24 1/4	613.4		



FOLIO: A/152922

-----

SEARCH DATE	TIME	EDITION NO	DATE
-----	----	-----	----
17/2/2022	3:43 PM	4	13/10/2021

LAND

----

LOT A IN DEPOSITED PLAN 152922  
AT BINGARA  
LOCAL GOVERNMENT AREA GWYDIR  
PARISH OF BINGARA COUNTY OF MURCHISON  
TITLE DIAGRAM DP152922

FIRST SCHEDULE

-----

SYLVIA MAY WILLIAMS  
AMY LOUISE IRIS EVANS  
AS JOINT TENANTS (T AR375843)

SECOND SCHEDULE (3 NOTIFICATIONS)

-----

- 1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- 2 LIMITED TITLE. LIMITATION PURSUANT TO SECTION 28T(4) OF THE REAL PROPERTY ACT, 1900. THE BOUNDARIES OF THE LAND COMPRISED HEREIN HAVE NOT BEEN INVESTIGATED BY THE REGISTRAR GENERAL.
- 3 BK 1566 NO 614 RIGHT OF WAY 4.57 METRE(S) WIDE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM

NOTATIONS

-----

UNREGISTERED DEALINGS: NIL

\*\*\* END OF SEARCH \*\*\*



C 277267

FP 152922

Plan Form N°6 (for transfers, leases etc.)

Municipality of Bingara  
Shire of

PLAN

of Subdivision of part of Lot 1 Section 38  
TOWN OF BINGARA  
Parish of Bingara County of Murchison

Scale 40 Feet to an Inch

It is intended that the vendors reserve as appurtenant to Lot "A" a right of way over that part of the land comprised in Lot "B" having a width of fifteen feet and edged in red.

Misc. plan of Subdn. (O. S.)

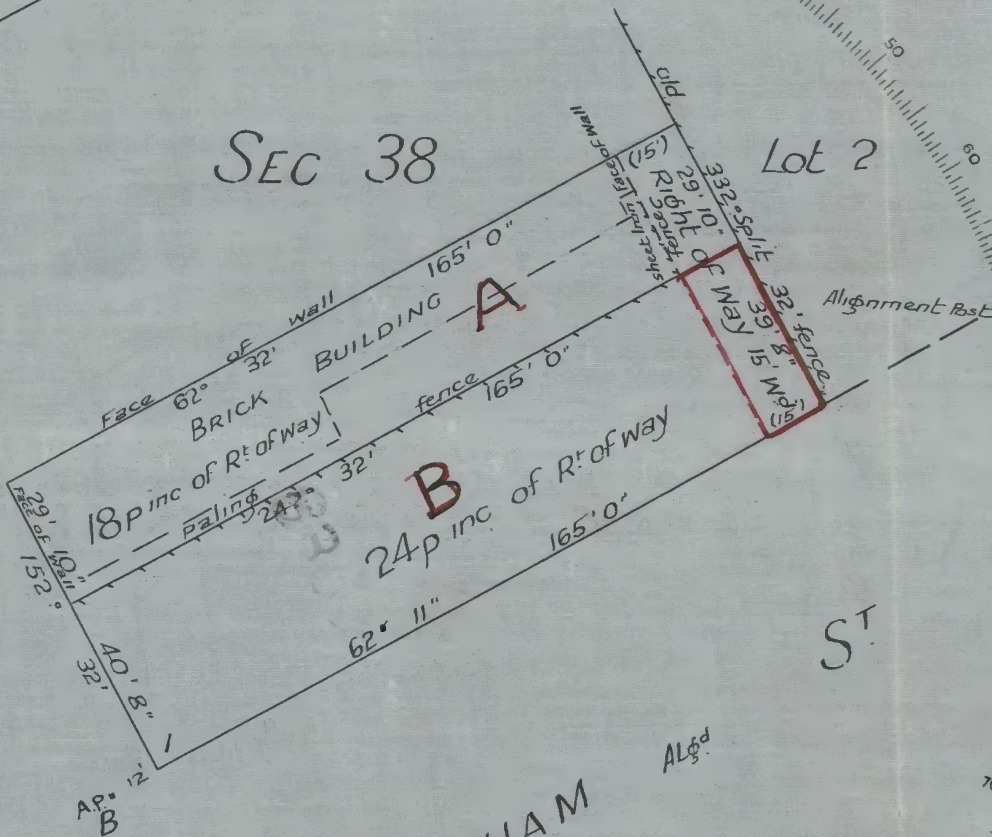
Regd. No. 2922

*C. Anderson*  
*J. Anderson*  
*C. Anderson*  
*by his attorneys*  
*Anderson*  
*Anderson*  
*Anderson*

FINCH ST

SEC 38

Lot 2



Signatures of parties to be made in this margin.

This margin to be left free from notation

MAITLAND ST

CUNNINGHAM ST

ST

*C. Anderson*  
*J. Anderson*

*C. Anderson*  
*by his attorneys*  
*Anderson*  
*J. Anderson*  
*Anderson*

Owners

Approved and covered by Council Clerks Certificate

No. 3/1934 of 13<sup>th</sup> July 1934

*W. Chanson*  
Council Clerk.

I John Garland of Bingara

a Surveyor registered under the Surveyor's Act, 1929, do hereby solemnly and sincerely declare (a) that all boundaries and measurements shown on this plan are correct, (b) that all survey marks found and relevant physical objects on or adjacent to the boundaries are correctly represented, (c) that all physical objects indicated actually exist in the positions shown, (d) that the whole of the material facts in relation to the land are correctly represented, (e) that the survey represented in this plan has been made in accordance with the Survey Practice Regulations, 1933 \* (1) by me (2) under my supervision, the character and extent of which was as required by the Survey Practice Regulations, 1933, and was completed on 7<sup>th</sup> August 1934

And I make this solemn declaration conscientiously believing the same to be true, and by virtue of the provisions of the Oaths Act, 1900.

Subscribed and declared before me at Bingara.  
this 25<sup>th</sup> day of August A.D. 1934

*John Garland*  
Datum line of Azimuth A.B.

(Signature) *John Garland*  
Surveyor registered under the Surveyors Act, 1929

CONVEYANCE  
Book 1566  
No 614

This is the plan marked " " referred to in

Dated

\*Strike out either (1) or (2).

†Insert date of Survey.





CONVERSION TABLE ADDED IN  
DEPARTMENT OF LANDS

DP 152922

FEET INCHES		METRES
4	8	1.422
12	-	3.658
15	-	4.572
29	10	9.093
39	8	12.090
40	8	12.395
165	-	50.292

AC	RD	P	SQ M
-	-	18	455.3
-	-	24	607



100 OCT 1934

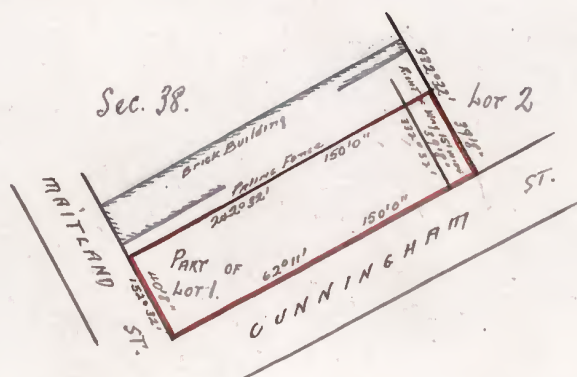
No. 95. Books 1701 Conveyance  
New South Wales Stamp duty.  
£ mi Shillings (duly stamped)  
9. 10. 1934

THIS DEED made the *twentieth* day of *September* One thousand nine hundred and thirty-four BETWEEN CHARLES ANDRONICUS EMANUEL ANDRONICUS and JOHN ANDRONICUS all of Sydney in the State of New South Wales Manufacturers (hereinafter called the Vendors) of the first part the said EMANUEL ANDRONICUS and JOHN ANDRONICUS and also FRANK FREDERICK KRAEGER of Sydney aforesaid Chartered Accountant and MICHAEL POTIRIS of Leichhardt near Sydney aforesaid Medical Practitioner (hereinafter called "the Covenantors") of the second part and the BANK OF NEW SOUTH WALES (hereinafter called the Bank) of the third part WITNESSETH that in consideration of the sum of Six hundred pounds paid by the Bank to the Vendors in equal shares (the receipt whereof is hereby acknowledged) the Vendors as beneficial owners DO HEREBY CONVEY unto the Bank in fee simple ALL THAT piece or parcel of land containing by admeasurement 24 perches more or less (including a right of way 15 feet wide) being part of allotment 1 of section 38 in the Town of Bingara in the County of Murchison in the State of New South Wales and being Lot B as shewn on Miscellaneous Plan of subdivision registered Number 2922 Commencing at the intersection of the North Eastern boundary of Maitland Street with the North Western boundary of Cunningham Street and bounded thence on the South East by that boundary of Cunningham Street bearing 62 degrees 11 minutes 165 feet to the South Western corner of allotment 2 thence on the North East by part of the South Western boundary of that allotment bearing 332 degrees 32 minutes 39 feet 8 inches thence on the North West by a line bearing 242 degrees 32 minutes 165 feet to the North Eastern boundary of Maitland Street aforesaid and thence on the South West by that boundary bearing 152 degrees 32 minutes 40 feet 8 inches to the point of commencement and being the land edged red on plan endorsed hereon Excepting nevertheless and Reserving unto the Vendors their executors administrators and assigns as appurtenant to the land edged green on the said plan full and free right and liberty to the Vendors their executors administrators and assigns their tenants servants visitors and licensees to pass and repass on foot or horseback and with or without waggons carts carriages or motor vehicles of any kind at all times by day and by night in upon over through or across ALL THAT piece of land 15 feet wide along the whole of the North Eastern boundary of the land hereby conveyed AND the Vendors as covenantors covenant with the Bank as covenantee for production of the documents mentioned in the First Schedule hereto AND the Covenantors as covenantors covenant with the Bank as covenantee for production of the document mentioned in the Second Schedule hereto.

IN WITNESS whereof these presents have been duly executed the day and year first hereinbefore written.

THE FIRST SCHEDULE HEREINBEFORE REFERRED TO.  
9th July 1929 Conveyance Christian Mary Capel to the Vendors registered No.614 Book 1566.  
17th December 1929 Mortgage the Vendors of the first part, Chocolate Stores Limited of the second part, and the Bank of the third part, registered No.161 Book 1596.

THE SECOND SCHEDULE HEREINBEFORE REFERRED TO.  
18th April 1934 Power of Attorney from Charles Andronicus to the Covenantors registered No.15541 Miscellaneous Register.



SIGNED SEALED and DELIVERED  
by the said CHARLES ANDRONICUS  
by his Attorneys Emanuel  
Andronicus, John Andronicus and  
Frank Frederick Kraeger in the  
presence of:-

*W. H. Baop.*  
*Solicitor*  
*Sydney*

SIGNED SEALED and DELIVERED by  
the said EMANUEL ANDRONICUS in  
the presence of:-

*J. D. Menaghaw*  
*Public Trust Office*  
*Sydney*

CHARLES ANDRONICUS by his Attorneys

*Emanuel Andronicus* (LS)  
*J. Andronicus*  
*F. Kraeger*

*Emanuel Andronicus* (LS)

*J. Andronicus*



-2-

AND by the said JOHN ANDRONICUS  
in the presence of:-

*ul. d. loop.*  
*Robinson Sydney*

*J. Andronicus*

(LS)

AND by the said EMANUEL ANDRONICUS  
JOHN ANDRONICUS FRANK FREDERICK  
KRAEGER and MICHAEL POTIRIS in  
the presence of:-

*ul. d. loop*

*E. Andronicus*

(LS)

*J. Andronicus*

(LS)

*F. Kraeger*

(LS)

*M. Potiris*

(LS)

I, *John Mackay Gibson* Clerk to *Robinson Attorneys Solicitors of 77 King Street Sydney*  
being duly sworn makes oath and says that the writing contained on this and the  
preceding page is a true copy of the original the same having been compared  
therewith by me.

SWORN by the Deponent this *10th*  
day of *October* One thousand nine  
hundred and thirty four at Sydney  
before me:

*John Gibson*

*H. W. Allen*  
DEPUTY REGISTRAR.

RECEIVED into the registration of Deeds Office at Sydney this *Tenth*  
day of *October* One thousand nine hundred and thirty four at *fifty eight*  
minutes past *two* o'clock in the *after* noon from *to the*  
*said John Mackay Gibson.*

*H. W. Allen*  
DEPUTY REGISTRAR.



10/26  
2/2/21

614

Registered No. ~~614~~ <sup>614 H.</sup> Book 1566

Conveyance  
New South Wales  
Stamp Duty  
1/12/21

10/-

5 JUL 1929

10/26

10/26

Appn 37721 (pt) in reg 200  
R. of 10/26

THIS DEED made the ninth day of July One thousand nine hundred and twenty nine  
BETWEEN CHRISTIAN MARY CAPEL of Derra Derra near Bingara in the State of New  
South Wales wife of Albert Capel of the same place Grazier (hereinafter called  
the said Vendor) of the one part and CHARLES ANDRONICUS, EMANUEL ANDRONICUS and  
JOHN ANDRONICUS all of Sydney in the State aforesaid Manufacturers (hereinafter  
called the purchasers) of the other part WITNESSETH that in consideration of  
the sum of Six hundred pounds paid by the purchasers to the said Vendor the  
receiptwhereof is hereby acknowledged the said Vendor as beneficial owner doth  
hereby convey unto the Purchasers in fee simple ALL THAT piece or parcel of  
land situated in the Town and Parish of Bingara County of Murchison and State  
aforesaid being part of Allotment Number One of Section Number Thirty Eight  
Commencing on the Southern corner of the Section and bounded on the North  
West by Seventy feet Six inches of the North Eastern side of Maitland Street  
North Westerly on the North West by a line North Easterly at right angles to  
Maitland Street Two Chains and Fifty Links on the North East by a line South  
Easterly parallel to Maitland Street Seventy Feet Six Inches to Cunningham Street  
and on the South East by Two Chains and Fifty Links of the North Western side  
of Cunningham Street South Westerly to the Southern corner of the section  
aforesaid being part of the land sold as Lot One in pursuance of the Proclamation  
of the eighteenth day of August one thousand eight hundred and fifty seven  
TO THE USE THAT the Vendor may have and enjoy full and free right and liberty to  
the Vendor her executors administrators and assigns his and their tenants  
servants visitors and Licensees to pass and repass on foot or horseback and  
either with or without Waggon's Carts Carriages or Motor Vehicles of any  
kind at all times by day and by night in upon over through or across ALL THAT  
piece of land fifteen feet wide along the whole of the North Eastern boundary  
of the aforesaid Allotment Number One The said Vendor covenants with the  
Purchasers for the production of the deeds mentioned in the Schedule  
IN WITNESS WHEREOF the parties hereto have hereunto set their hands and seals  
the day and year first hereinbefore written.

SCHEDULE OF DEEDS.

3rd March	1858	CROWN GRANT to John Hemson
7th November	1864	CONVEYANCE John Hemson to Samuel Hogg
1st February	1900	CONVEYANCE J. T. Greenhills and ors to H. T. Page registered No. 203 Book 658
13th May	1912	CONVEYANCE H. J. Page to W. C. Ridley & anor. Registered No. 109 Book 968
13th May	1912	MORTGAGE W. C. Ridley and onor. to Daniel Charters Registered No. 502 Book 968 with Statutory Dis- charge endorsed Registered No. 660 Book 1031.
29th December	1913	CONVEYANCE S. A. Passer to W. C. Ridley Regist- ered No. 275 Book 1018.
17th June	1914	CONVEYANCE W. C. Ridley to The Vendor Registered

Charles Andronicus



No. 557 Book 1032.

25th November 1899

Statutory Declaration of W. H. Mullen

23rd. November 1899

CERTIFICATE OF death of Samuel Hogg

23rd. November 1899

CERTIFICATE of death of Stephen Hogg.

SIGNED SEALED AND DELIVERED by )  
the said CHRISTIAN MARY CAPEL )  
in the presence of )

C. M. CAPEL

L.S.

F. D. Ryan,  
Sol r. ~~for~~,  
BINGARA.

I KENNETH WALTER BETTS Clerk to T. Mitchell & Gee of Sydney Solicitors  
in the State of New South Wales being duly sworn maketh oath and saith the  
writing contained above <sup>and preceding page</sup> has been compared by me with the original  
Conveyance and is a true copy thereof

SWORN at SYDNEY this *Twentieth*  
day of *July* One thousand nine  
hundred and twenty nine before me

*W. H. Mullen*  
DEPUTY REGISTRAR.

RECEIVED into the Office for the Registration of Deeds &c. at Sydney  
the *Twentieth* day of *July* One thousand nine hundred and  
twenty nine at *Twenty* minutes past *Eleven* o'clock  
in the *fore* noon from the abovenamed *Kenneth Walter Betts*  
*W. H. Mullen*  
DEPUTY REGISTRAR.



FOLIO: 1/87721

-----

SEARCH DATE	TIME	EDITION NO	DATE
-----	----	-----	----
17/2/2022	3:43 PM	2	4/8/2004

LAND

----

LOT 1 IN DEPOSITED PLAN 87721  
AT BINGARA TOWN  
LOCAL GOVERNMENT AREA GWYDIR  
PARISH OF BINGARA COUNTY OF MURCHISON  
TITLE DIAGRAM DP87721

FIRST SCHEDULE

-----

GWYDIR SHIRE COUNCIL (T AA855439)

SECOND SCHEDULE (2 NOTIFICATIONS)

-----

- 1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- 2 BK 1566 NO 614 RIGHT OF WAY APPURTENANT TO THE LAND ABOVE DESCRIBED  
AFFECTING THE LAND SHOWN SO BURDENED IN VOL 6789 FOL 17

NOTATIONS

-----

UNREGISTERED DEALINGS: NIL

\*\*\* END OF SEARCH \*\*\*



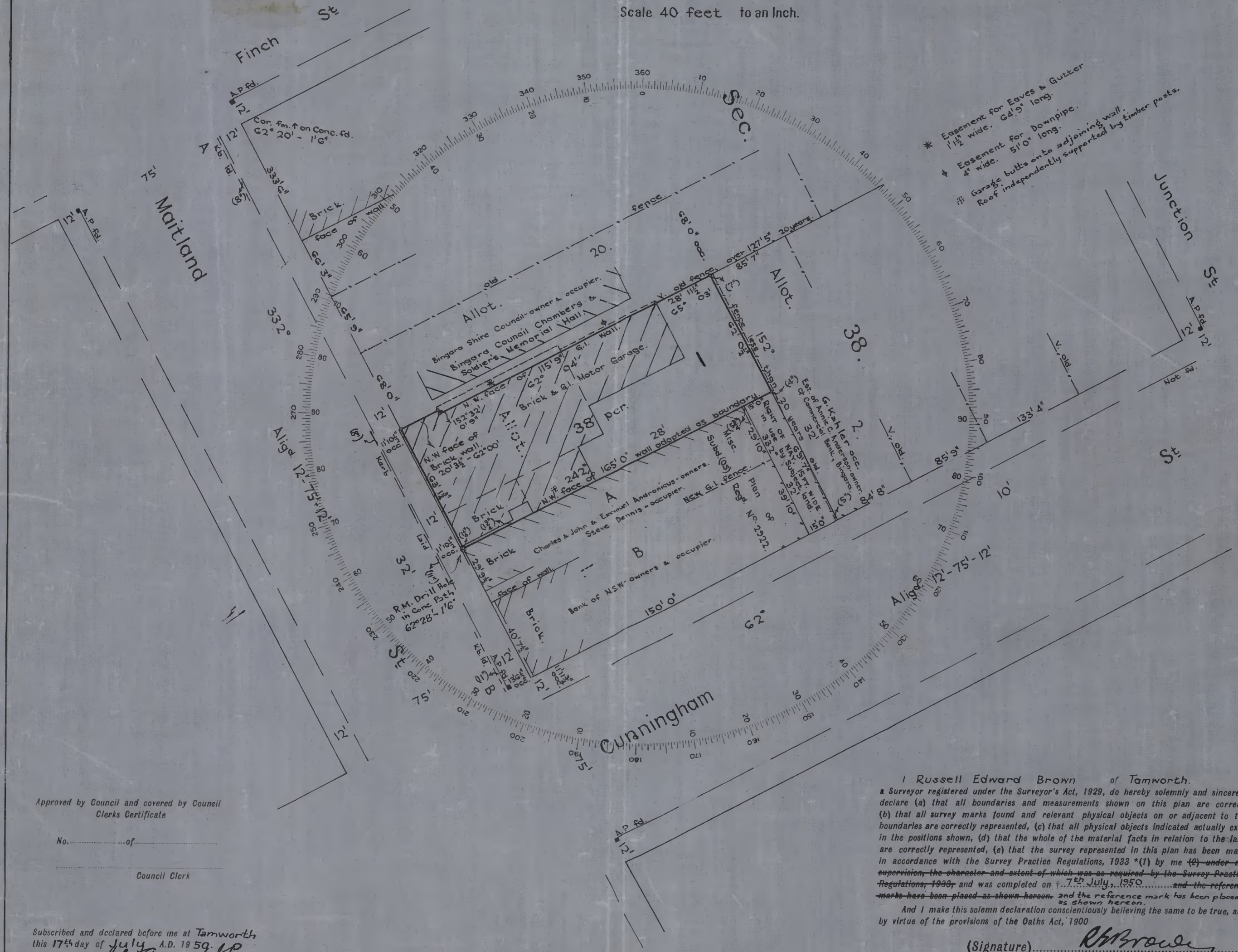
Plan Form No 6A (for transfers, leases, etc.)  
Municipality of  
Shire of Bingara.  
PA37721

M. M.  
PLAN

of part of Allotment 1. Section 38. Town of Bingara.  
Parish of Bingara County of Murchison

Scale 40 feet to an inch.

DP87721 (2) C  
6



Approved by Council and covered by Council  
Clerks Certificate

No. .... of .....  
Council Clerk

Subscribed and declared before me at Tamworth  
this 17th day of July, A.D. 1950.  
A. L. Stewart, J.P.  
Justice of Peace

Datum Line of Azimuth A-B.

I Russell Edward Brown of Tamworth.  
a Surveyor registered under the Surveyors Act, 1929, do hereby solemnly and sincerely  
declare (a) that all boundaries and measurements shown on this plan are correct,  
(b) that all survey marks found and relevant physical objects on or adjacent to the  
boundaries are correctly represented, (c) that all physical objects indicated actually exist  
in the positions shown, (d) that the whole of the material facts in relation to the land  
are correctly represented, (e) that the survey represented in this plan has been made  
in accordance with the Survey Practice Regulations, 1933 (1) by me (2) under my  
supervision, the character and extent of which was as required by the Survey Practice  
Regulations, 1933, and was completed on 17th July, 1950, and the reference  
marks have been placed as shown hereon, and the reference mark has been placed R56  
as shown hereon.  
And I make this solemn declaration conscientiously believing the same to be true, and  
by virtue of the provisions of the Oaths Act, 1900

(Signature) R. E. Brown  
Surveyor registered under the Surveyors Act, 1929

\*Strike out either (1) or (2).      †insert date of Survey.

PLAN AMENDED IN L.T.O. 6-12-1989

This is the plan marked " " referred to in  
Dated

Signatures of parties to be made in this margin.

This margin to be left free from notation





CONVERSION TABLE ADDED IN  
DEPARTMENT OF LANDS

DP 87721

FEET	INCHES	METRES
------	--------	--------

-	0 1/4	0.006
-	1 1/4	0.032
-	1 3/4	0.044
-	4	0.102
-	5	0.127
-	5 3/4	0.146
-	7	0.178
-	8	0.203
-	9	0.229
-	11	0.279
1	1 1/2	0.343
1	6	0.457
11	10 1/2	3.620
11	11 3/4	3.651
12	-	3.658
13	6 1/2	4.128
15	-	4.572
20	3 1/2	6.185
28	11 1/2	8.827
29	9 1/2	9.081
29	10	9.093
32	-	9.754
39	10	12.141
40	7 1/2	12.383
51	-	15.545
51	10	15.799
62	0 1/2	18.910
63	1 3/4	19.247
64	9	19.736
65	9	20.041
66	3	20.193
68	-	20.726
69	7	21.209
75	-	22.860
84	8	25.806
85	7	26.086
85	9	26.137
115	9	35.281
127	5	38.837
133	4	40.640
150	-	45.720
165	-	50.292
333	6	101.651

AC	RD	P	SQ M
----	----	---	------

-	-	.38	9.6
-	-	38	961.1





FOLIO: 20/38/758111

-----

SEARCH DATE	TIME	EDITION NO	DATE
-----	----	-----	----
17/2/2022	3:43 PM	-	-

LAND

----

LOT 20 OF SECTION 38 IN DEPOSITED PLAN 758111  
AT BINGARA  
LOCAL GOVERNMENT AREA GWYDIR  
PARISH OF BINGARA COUNTY OF MURCHISON  
(FORMERLY KNOWN AS ALLOTMENT 20 OF SECTION 38)  
TITLE DIAGRAM CROWN PLAN 3.1470

FIRST SCHEDULE

-----

GWYDIR SHIRE COUNCIL (CA101335)

SECOND SCHEDULE (4 NOTIFICATIONS)

-----

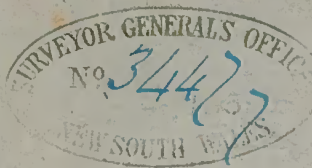
- 1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- \* 2 QUALIFIED TITLE. CAUTION PURSUANT TO SECTION 28J OF THE REAL PROPERTY ACT 1900. THIS TITLE WAS CREATED USING LAND AND PROPERTY INFORMATION RECORDS IN ACCORDANCE WITH SECTION 28D OF THE REAL PROPERTY ACT 1900. DELIVERY OF THE TITLE AND/OR REGISTRATION OF ANY DEALING WILL REQUIRE LODGMENT OF A STATEMENT OF TITLE PARTICULARS SUPPLYING COMPLETE OWNERSHIP DETAILS.
- \* 3 QUALIFIED TITLE. CAUTION PURSUANT TO SECTION 28J OF THE REAL PROPERTY ACT, 1900. ENTERED 7.5.2008 BK 2016 NO 335
- \* 4 LIMITED TITLE. LIMITATION PURSUANT TO SECTION 28T(4) OF THE REAL PROPERTY ACT, 1900. THE BOUNDARIES OF THE LAND COMPRISED HEREIN HAVE NOT BEEN INVESTIGATED BY THE REGISTRAR GENERAL.

NOTATIONS

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UNREGISTERED DEALINGS: NIL

\*\*\* END OF SEARCH \*\*\*



*Sale at Warialda on the 3<sup>rd</sup> Oct 1857  
Lots 1 to 30 being allots 165, 96, 12, 16, 20 Sec 38  
and 1 to 11, 15 to 20 Sec 39*

*Plan*

*Vide Treas return of sale of 8 Oct 57 reporting  
lots 1 to 30 sold as per names  
of 30 allotments of the Town of Bingara in the District of Gwydyr*

*being allots Nos 1, 2, 3, 8, 9, 10, 11, & 12 of Section No 38, Nos 16, 17, 18, 19 and 20 of Section No 38,*

*and allots Nos 1 to 11 and 15 to 20 of Section No 39.*

*Made in obedience to the Surveyor General's letters of the 21<sup>st</sup> of October 1853 No 53/55 and the 18<sup>th</sup> of June  
1855, No 55/64. applied for to purchase by Richard Bligh, Mann and others.  
Allot 21, Sec. 39, Trustees of Bingara Returned Servicemen's Club. Sp. Pur. 58/14 1r 8p.*

*Town of Bingara*

*Henson*

*Finch*

*Cunningham*

*Union*

*Street*

*Street*

*Street*

*Street*

*Scale eight chains to the inch*

*This is good building land, and advantageously  
situated, it is lightly timbered.*

*Streets run North 28° west*

*The measured portions are tinted  
red, stakes are driven at the corners.*

*B3-1470*

**PLAN MICROFILMED**  
**NO ADDITIONS OR AMENDMENTS TO BE MADE**

*Transmitted to the Surveyor General with a letter  
and descriptions of the 25<sup>th</sup> of March 1857 No 57/58*

*R. H. He*

*3-1470*



NUMBER 335

BOOK 2016.

DECLARATION OF ENLARGEMENT OF FEE

N.S.W. Stamp Duty One Pound 5/5/47

TO ALL TO WHOM THESE PRESENTS SHALL COME the COUNCIL OF THE SHIRE OF BINGARA a Shire duly constituted under the provisions of the Local Government Act 1919, and CHARLES DOHERTY of Bingara in the State of New South Wales President of the Council of the Shire of Bingara SEND GREETINGS : WHEREAS by Deed bearing date the nineteenth day of July one thousand nine hundred and thirty nine registered in the Registry of Deeds at Sydney Number 890 Book 1853 made between Solomon Shineberg and Harry Miller therein described the then duly appointed trustees of the School of Arts at Bingara of the first part, the Minister of Public Instruction of the State of New South Wales, of the second part and the Council of the Municipality of Bingara of the third part <sup>the said Trustees</sup> did and each of them did thereby with the consent and approval of the said Minister of Public Instruction as testified by his execution thereof demise unto the said Council of the Municipality of Bingara its successors and assigns ALL THAT allotment or parcel of land in the said State containing by admeasurement Two Roods be the same more or less situated in the County of Murchison Parish of Bingara Town of Bingara being allotment number twenty section number thirty eight COMMENCING on the North East side of Maitland Street at the Southern corner of allotment number nineteen and bounded on the North West by the South Eastern boundary of that allotment being a line North Easterly at right angles to Maitland Street five chains on the North East by a line South Easterly parallel to Maitland Street one chain on the South East by a line South Westerly at right angles to the North Eastern boundary five chains to Maitland Street and on the South West by one chain of the North East side of Maitland Street North Westerly to the Southern corner of allotment Number nineteen aforesaid being the allotment sold as Lot thirteen in pursuance of the proclamation of the 18th August 1857 and being the land described in Indenture of Conveyance dated the 7th day of December 1906 between Henry Joseph Page of Manilla, Coach Proprietor of the one part and Thomas Connolly, John Byrnes and Frank King (the then Trustees of the Bingara School of Arts) of the other part and registered number 791 Book 817 together with all improvements thereon for the term of nine hundred and ninety nine years from the nineteenth day of July one thousand nine hundred and thirty nine yielding and paying therefor during the said term the rental of one peppercorn on the nineteenth day of July in each and every year during the said term AND WHEREAS by proclamation dated the fifteenth day of December One thousand nine hundred and forty three in the New South Wales Government Gazette Number 143 of the seventeenth day of December One thousand nine hundred and forty three in pursuance of the Local Government Act 1919 on and from the first day of January One thousand nine hundred and forty four the said Municipality of Bingara was united with the Shire of Gwydir and the areas formed by such union <sup>were</sup> ~~being~~ named the Shire of Bingara and the assets and property of the said Municipality of Bingara were thereby ordered to be assets and property respectively of the Shire of Bingara AND WHEREAS the land hereinbefore described is now held by the Council of the Shire of Bingara for the residue now to come and unexpired of the said term of nine hundred and ninety nine years without any trust or right of redemption affecting the said term in favour of the freeholder or other person

Charles Doherty



entitled in reversion expectant on the said term and with merely a peppercorn rent :

AND WHEREAS the said Council of the Shire of Bingara is desirous of enlarging the afore-  
said leasehold estate into an estate in fee simple in the said land: NOW THESE PRESENTS  
WITNESS that the said COUNCIL OF THE SHIRE OF BINGARA (with the intent that this deed  
shall upon execution and registration effect an enlargement in accordance with Section 134  
of the Conveyancing Act 1919-1943) doth hereby declare that from and after the execution  
and registration of this deed the residue now to come and unexpired of the aforesaid term  
of nine hundred and ninety nine years now vested in it in all the before mentioned land  
shall be enlarged into a fee simple.

IN WITNESS whereof the Common Seal of the said Council of the Shire of Bingara was hereto  
affixed and the said CHARLES DOHERTY has hereunto affixed his hand and seal this  
*first* day of *May* in the year One thousand nine hundred and forty seven.

THE COMMON SEAL of the COUNCIL OF THE  
SHIRE OF BINGARA was hereunto affixed  
in pursuance of a resolution of the  
Council

( L. S. )

*Chas Doherty*  
President.  
*R. L. Dunning*  
Council Clerk.

SIGNED SEALED AND DELIVERED by the  
said CHARLES DOHERTY in the presence  
of

*Chas Doherty*

*R. L. Dunning*

IN THE STATE OF  
NEW SOUTH WALES

On this *second* day of *May* in the year of Our Lord One thousand  
nine hundred and forty seven; SHIRLEY MAY BATES of Bingara in the State of New South  
Wales, Clerk, being duly sworn, maketh oath and saith as follows:-

The writing contained above has been compared by me with the original Deed of Enlargement  
and is a true copy thereof.

SWORN by the Deponent on the day  
and year above mentioned at Bingara  
before me:

*S. W. Bates*

*Chas Doherty JP*

RECEIVED into the Registrar General's Office at Sydney this fourteenth day of May  
A.D. 1947 at *Twenty* minutes past ten o'clock in the fore  
noon from NEVILLE ALFRED HARRY LID of Sydney, Clerk to Reed, Hanigan & Turner, a true  
copy of the within deed verified by Shirley May Bates of Bingara, Clerk to W.G.A. Baines  
and registered Number Beck

*R. L. Dunning*  
DEPUTY REGISTRAR





# REVOLUTION TOWN PLANNING

FOR NOW AND FOR THE FUTURE

## ATTACHMENT 2 – Notice Given to Landowners 37 Maitland Street and 39 Maitland Street



24 November 2023

Att: Amy Louise Iris Evans & Sylvia May Williams

C/- Pally Styles

37 Maitland Street

BINGARA NSW 2404

Email: [ali52w@hotmail.com](mailto:ali52w@hotmail.com)

cc: [mail@gwydir.nsw.gov.au](mailto:mail@gwydir.nsw.gov.au)

Dear Amy and Sylvia

**Attn:** Amy Louise Iris Evans & Sylvia May Williams C/- Pally Styles

**Location:** 33-35 Maitland Street, Part of Lot 20, Section 38 DP758111, Lot 1 DP87721 and Lots A, B and C on DP156383, Part 37 Maitland Street, Part of Lot A DP152922 (BK1566 No 614 Right of Way), and Part 39 Maitland Street, Part Lot 1 DP209422 (BK1701 No 95 Right of Way) Bingara NSW 2404

**Subject:** Notification of Development Application over Part 37 Maitland Street, Part Lot A DP152922 (BK1566 No 614 Right of Way)

I write on behalf of Gwydir Shire Council regarding a proposed development application over land which you own known as Part Lot A DP152922 (BK1566 No 614 Right of Way), 37 Maitland Street, Bingara. Please accept this letter as notice of the proposed development application before the application is made pursuant to Section 23 (3)(a) of the *Environmental Planning and Assessment Regulation 2021*. As the development application is to be made by Gwydir Shire Council, your written consent is not required to make the development application where this notice has been given.

The proposed development application is an application for development consent for a Community Facility and Office premises comprising:

- Demolition of the existing buildings and ancillary infrastructure at 33-35 Maitland Street (subject to Development Consent DA24/2023), excluding the façade of the Soldiers Memorial Building which is to be retained;
- Community facility (~ 338m<sup>2</sup> GFA) consisting of:
  - Community forecourt and greenspace;
  - Visitor information centre;
  - Public amenities;
  - Community/councillors meeting room;
  - Customer Service Centres;
  - Mayor office and
  - Council Chambers.
- Office premises (~ 766m<sup>2</sup> GFA) consisting of:
  - Centrelink office and quiet space;
  - Staff recreation and collaborative areas;
  - Offices and meeting rooms,
  - IT Hub;
  - Gwydir News Office; and
  - Breakout area.
- Landscaping;





# REVOLUTION TOWN PLANNING

FOR NOW AND FOR THE FUTURE

- Twenty-two (22) carparking spaces including fifteen (15) which are being formalised in the Council depot;
- Delivery bay; and
- Vehicular access via a Right of Way from Cunningham Street.

The proposed Site Plan is included in **Attachment 1**.

You will be provided with the opportunity to make a submission on the development application when the development application is publicly exhibited. Public Exhibition of the development application will be undertaken for a period not less than 28 days.

If you have any questions or you would like to discuss, please do not hesitate to contact me on 0428 289 446.

Yours faithfully

Peter Swan, Director  
Revolution Town Planning



# REVOLUTION TOWN PLANNING

FOR NOW AND FOR THE FUTURE

## ATTACHMENT 1 – Proposed Site Plan



KEY	SITE EXISTING
SYMBOL	DESCRIPTION
	SURFACE GRADIENT LINE (APPROX)
	EXISTING SEWER LINE
	EXISTING STORMWATER LINE
	EXISTING WATER MAIN
	EXISTING OVERHEAD POWERLINE
	EXISTING GAS LINE
	EXISTING TELSTRA LINES
	EXISTING POWERPOLE
	EXISTING GAS METER
	EXISTING COMMUNICATIONS POINT
	EXISTING HOSECOCK
	EXISTING FIRE HYDRANT

**NOTE:**  
NO RETAINING WALLS OR CUT/FILL EARTHWORKS  
BEYOND TYPICAL FOOTING & SLAB GROUND WORKS

- COMMERCIAL SITE PLAN NOTES:**
- BUILDER IS TO CONFIRM THE LOCATION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF WORK
  - EARTHWORKS & SEDIMENT CONTROL ARE TO COMPLY WITH THE CIVIL ENGINEERS DESIGN DOCUMENTS
  - FINISHED LEVELS & SURFACES ARE TO COMPLY WITH THE ENGINEERS STORMWATER MANAGEMENT REPORT & DESIGN DOCUMENTS & WITH NCC FP1.1, FP1.2 & FP1.3
  - REFER TO ENGINEER'S DRAWINGS FOR LOCATION & DESIGN OF RETAINING WALLS
  - ALL STORMWATER DISCHARGE FROM ROOF IS TO COMPLY WITH THE HYDRAULIC ENGINEER'S DESIGN DOCUMENTS & AS 3500.3
  - ONLY THE VEGETATION WITHIN THE AREA REQUIRED TO CONSTRUCT THE PAD PLATFORM IS TO BE REMOVED
  - BUILDER IS TO REMOVE FOREIGN & LEFT-OVER MATERIAL ON OR ABOVE THE SITE SURFACE, INCLUDING RUBBISH, SCRAP, GRASS, VEGETABLE MATTER AND ORGANIC DEBRIS, SCRUB, TIMBER, STUMPS, BOULDERS AND RUBBLE.
  - REMOVE THE TOPSOIL LAYER OF THE NATURAL GROUND WHICH CONTAINS SUBSTANTIAL ORGANIC MATTER OVER THE AREAS TO BE OCCUPIED BY CONSTRUCTION AND PAVING
  - STOCKPILE SITE TOPSOIL REQUIRED FOR RE-USE, PROTECT STOCKPILES FROM CONTAMINATION BY OTHER EXCAVATED MATERIAL, WEEDS AND BUILDING DEBRIS
  - BUILDER IS TO PROVIDE APPROPRIATE TEMPORARY & PERMANENT FENCING TO THE SITE IN ACCORDANCE WITH ALL RELEVANT AUSTRALIAN STANDARDS & LOCAL AUTHORITY REQUIREMENTS
  - BUILDER TO ENSURE SITE ACCESS, TRAFFIC MANAGEMENT, & WATER STORAGE AREA COMPLY WITH THE BCA, ALL RELEVANT AUSTRALIAN STANDARDS & LOCAL AUTHORITY REQUIREMENTS
  - CROSSOVER TO COMPLY WITH COUNCIL REGULATIONS
  - RAMPS, WALKWAYS & FOOTPATHS ARE TO COMPLY WITH DESIGN DOCUMENTS (INCLUSIVE OF ALL PROJECT CONSULTANTS) & AS 1428.1.10. DISCREPANCIES BETWEEN CONSULTANTS' DESIGNS, & BETWEEN DESIGN DOCUMENTS & THE STANDARD ARE TO BE REFERRED TO THE DESIGNER
  - CAR PARKING LAYOUTS ARE TO COMPLY WITH DESIGN DOCUMENTS (INCLUSIVE OF ALL PROJECT CONSULTANTS) & AS 2890. DISCREPANCIES BETWEEN CONSULTANTS' DESIGNS, & BETWEEN DESIGN DOCUMENTS & THE STANDARD ARE TO BE REFERRED TO THE DESIGNER

**SITE DETAILS:**

**STREET ADDRESS** 33-35 MAITLAND ST  
BINGARA NSW 2404

**SITE DESCRIPTION** Lot 20 Section 38 DP758111  
Lot 1 DP 87721

**SITE AREA** 3000 m<sup>2</sup> (VERIFY)

**LOCAL AUTHORITY** GWYDIR SHIRE COUNCIL  
PARISH OF BINGARA  
COUNTY OF MURCHISON

**BUILDING USE DETAILS:**

**POPULATION:** MAX 48 STAFF

**OPERATING HOURS:** 9am - 4pm MON-FRI

**BUILDING CODE DETAILS:**

**BUILDING CLASS:** 5

**CONSTRUCTION TYPE:** C

**TOTAL FLOOR AREA (EXISTING):** 1461m<sup>2</sup>

**TOTAL FLOOR AREA (PROPOSED):** 1098m<sup>2</sup>

**TOTAL LANDSCAPING (EXISTING):** 25m<sup>2</sup> (<1%)

**TOTAL LANDSCAPING (PROPOSED):** 170m<sup>2</sup> (5.6%)

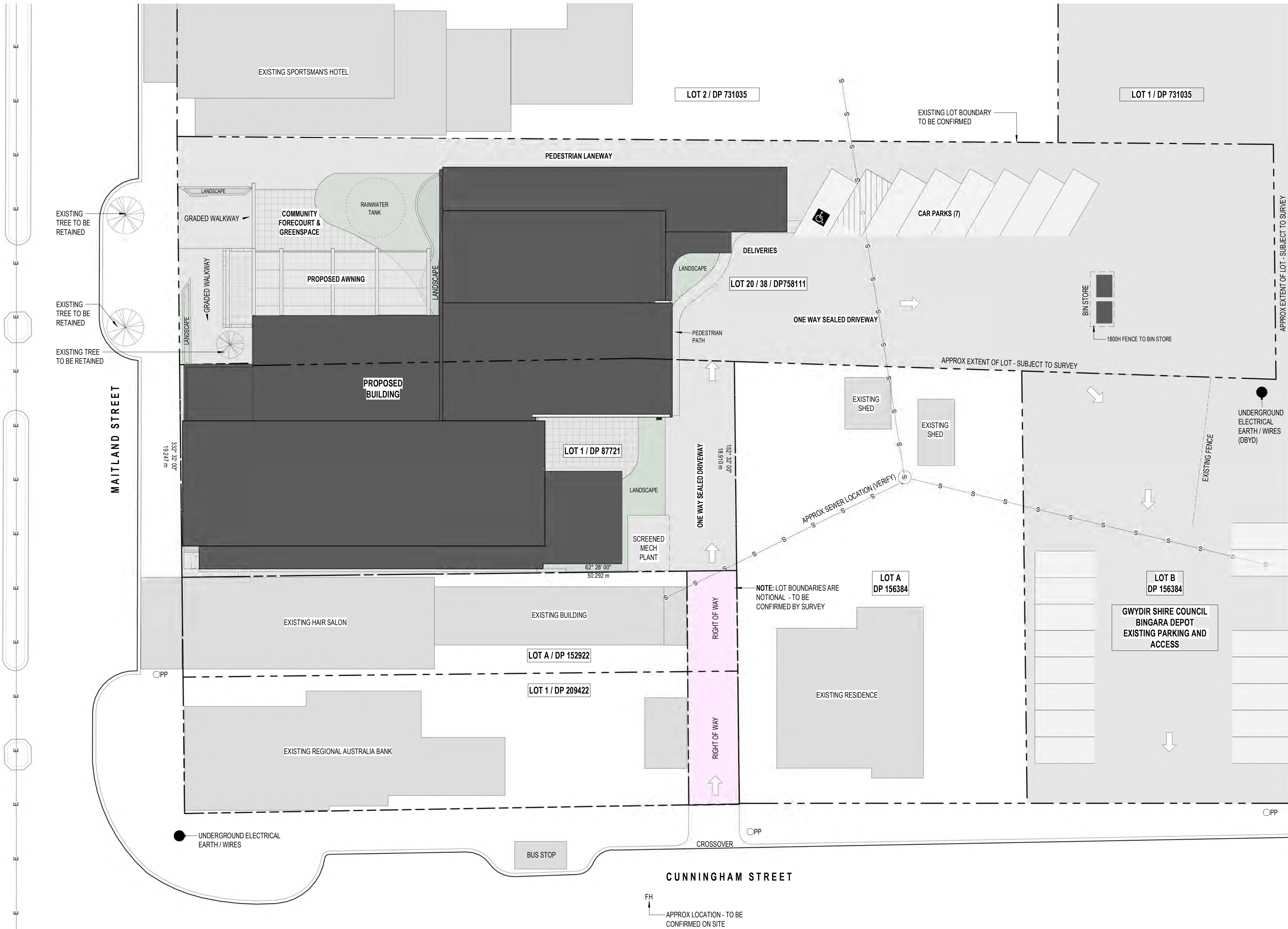
**VOLUME:** <12000 m<sup>3</sup>

**FIRE COMPARTMENTS:** 1

**STOREYS:** 1

**CLIMATE ZONE:** ZONE 4

AREA SCHEDULE		
NAME	AREA	
MAIN BUILDING	1065 m <sup>2</sup>	
STAFF COURTYARD	57 m <sup>2</sup>	
COLONNADE	152 m <sup>2</sup>	
PUBLIC AMENITIES	33 m <sup>2</sup>	
GRAND TOTAL	1307 m <sup>2</sup>	



PROPOSED SITE PLAN

1:200



STRUXI DESIGN PTY LTD  
p | 07 4638 4658 abn | 23 115 458 958  
e | struxi@struxi.com.au qbcc | 1080847  
w | www.struxi.com.au  
a | Suite12, Level 1 /203 Margaret St Toowoomba Q 4350

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THIS INFORMATION REMAINS THE PROPERTY OF STRUXI DESIGN PTY LTD. AUTHORITY IS GRANTED FOR ONCE ONLY USE BY THE CLIENT AT ONLY THE SITE ADDRESS AS NOTED. UNAUTHORISED REPRODUCTION IS PROHIBITED BY LAW.

**USE DEFINITION**  
PRELIMINARY - THE SHEET HAS BEEN ISSUED FOR PRELIMINARY USE ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION.  
CONSTRUCTION - THE SHEET HAS BEEN ISSUED FOR CONSTRUCTION, SUBJECT TO CONDITIONS OF BUILDING AND DEVELOPMENT APPROVALS.  
AS CONSTRUCTED - THE SHEET HAS BEEN ISSUED FOR INFORMATION BASED ON PROVIDED INFORMATION AVAILABLE. STRUXI MAKES NO GUARANTEE ON ITS COMPLETENESS OR ACCURACY.  
THIS SHEET MUST BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, SPECIFICATIONS, SCHEDULES AND THE LIKE.

**PROUD MEMBER OF THE BUILDING DESIGNERS ASSOCIATION OF QUEENSLAND SINCE 2005**  
MEMBER NUMBER: 730

SHEET ISSUE HISTORY		
ISSUE	DESCRIPTION	DATE
A	FOR DEVELOPMENT APPLICATION	02.11.2023

**PROJECT NAME**  
BINGARA ADMINISTRATION HUB

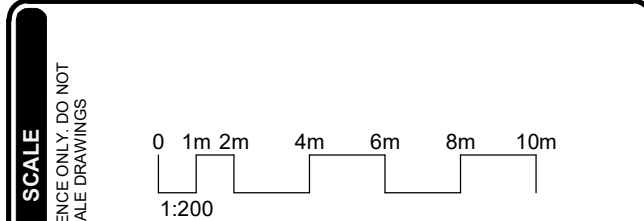
**STREET ADDRESS**  
33-35 MAITLAND ST  
BINGARA NSW 2404

**REAL PROPERTY DESCRIPTION**  
L1 DP87721  
L20 Section 38 DP758111

**CLIENT**  
GWYDIR SHIRE COUNCIL

## PROPOSED SITE PLAN

AUTHOR	DOH
DESIGNER	OCK
ORIGINAL SIZE	594 x 841 - ISO A1
PRINT DATE	02-Nov-23 1:10:31 PM



**AUTHORISATION**  
THIS DRAWING IS UNCONTROLLED WITHOUT DESIGNER'S SIGNATURE BELOW

**NORTH**

PRELIMINARY			
REFER TO 'USE DEFINITION' ABOVE			
PROJECT NO.	PHASE	SHEET NO.	ISSUE
231967	DA	002	A

STRUXI DESIGN PTY LTD





24 November 2023

Att: Ms NH Macinnes  
C/- Regional Australian Bank  
39 Maitland Street  
BINGARA NSW 2404

Email: [mail@gwydir.nsw.gov.au](mailto:mail@gwydir.nsw.gov.au)

Dear Ms Macinnes,

**Attn:** Ms Macinnes C/- Regional Australia Bank  
**Location:** 33-35 Maitland Street, Part of Lot 20, Section 38 DP758111, Lot 1 DP87721 and Lots A, B and C on DP156383, Part 37 Maitland Street, Part of Lot A DP152922 (BK1566 No 614 Right of Way), and Part 39 Maitland Street, Part Lot 1 DP209422 (BK1701 No 95 Right of Way) Bingara NSW 2404  
**Subject:** Notification of Development Application over Part 39 Maitland Street, Part Lot 1 DP209422 (BK1701 No 95 Right of Way)

I write on behalf of Gwydir Shire Council regarding a proposed development application over land which you own known as Part Lot 1 DP209422 (BK1701 No 95 Right of Way), 39 Maitland Street, Bingara. Please accept this letter as notice of the proposed development application before the application is made pursuant to Section 23 (3)(a) of the *Environmental Planning and Assessment Regulation 2021*. As the development application is to be made by Gwydir Shire Council, your written consent is not required to make the development application where this notice has been given.

The proposed development application is an application for development consent for a Community Facility and Office premises comprising:

- Demolition of the existing buildings and ancillary infrastructure at 33-35 Maitland Street (subject to Development Consent DA24/2023), excluding the façade of the Soldiers Memorial Building which is to be retained;
- Community facility (~ 338m<sup>2</sup> GFA) consisting of:
  - Community forecourt and greenspace;
  - Visitor information centre;
  - Public amenities;
  - Community/councillors meeting room;
  - Customer Service Centres;
  - Mayor office and
  - Council Chambers.
- Office premises (~ 766m<sup>2</sup> GFA) consisting of:
  - Centrelink office and quiet space;
  - Staff recreation and collaborative areas;
  - Offices and meeting rooms,
  - IT Hub;
  - Gwydir News Office; and
  - Breakout area.
- Landscaping;





# REVOLUTION TOWN PLANNING

FOR NOW AND FOR THE FUTURE

- Twenty-two (22) carparking spaces including fifteen (15) which are being formalised in the Council depot;
- Delivery bay; and
- Vehicular access via a Right of Way from Cunningham Street.

The proposed Site Plan is included in **Attachment 1**.

You will be provided with the opportunity to make a submission on the development application when the development application is publicly exhibited. Public Exhibition of the development application will be undertaken for a period not less than 28 days.

If you have any questions or you would like to discuss please do not hesitate to contact me on 0428 289 446.

Yours faithfully

Peter Swan, Director  
Revolution Town Planning



# REVOLUTION TOWN PLANNING

FOR NOW AND FOR THE FUTURE

## ATTACHMENT 1 – Proposed Site Plan



KEY	SITE EXISTING
SYMBOL	DESCRIPTION
	SURFACE GRADIENT LINE (APPROX)
	EXISTING SEWER LINE
	EXISTING STORMWATER LINE
	EXISTING WATER MAIN
	EXISTING OVERHEAD POWERLINE
	EXISTING GAS LINE
	EXISTING TELSTRA LINES
	EXISTING POWERPOLE
	EXISTING GAS METER
	EXISTING COMMUNICATIONS POINT
	EXISTING HOSECOCK
	EXISTING FIRE HYDRANT

NOTE:  
NO RETAINING WALLS OR CUT/FILL EARTHWORKS  
BEYOND TYPICAL FOOTING & SLAB GROUND WORKS

- COMMERCIAL SITE PLAN NOTES:**
- BUILDER IS TO CONFIRM THE LOCATION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF WORK
  - EARTHWORKS & SEDIMENT CONTROL ARE TO COMPLY WITH THE CIVIL ENGINEERS DESIGN DOCUMENTS
  - FINISHED LEVELS & SURFACES ARE TO COMPLY WITH THE ENGINEERS STORMWATER MANAGEMENT REPORT & DESIGN DOCUMENTS & WITH NCC FP1.1, FP1.2 & FP1.3
  - REFER TO ENGINEER'S DRAWINGS FOR LOCATION & DESIGN OF RETAINING WALLS
  - ALL STORMWATER DISCHARGE FROM ROOF IS TO COMPLY WITH THE HYDRAULIC ENGINEER'S DESIGN DOCUMENTS & AS 3500.3
  - ONLY THE VEGETATION WITHIN THE AREA REQUIRED TO CONSTRUCT THE PAD PLATFORM IS TO BE REMOVED
  - BUILDER IS TO REMOVE FOREIGN & LEFT-OVER MATERIAL ON OR ABOVE THE SITE SURFACE, INCLUDING RUBBISH, SCRAP, GRASS, VEGETABLE MATTER AND ORGANIC DEBRIS, SCRUB, TIMBER, STUMPS, BOULDERS AND RUBBLE.
  - REMOVE THE TOPSOIL LAYER OF THE NATURAL GROUND WHICH CONTAINS SUBSTANTIAL ORGANIC MATTER OVER THE AREAS TO BE OCCUPIED BY CONSTRUCTION AND PAVING
  - STOCKPILE SITE TOPSOIL REQUIRED FOR RE-USE, PROTECT STOCKPILES FROM CONTAMINATION BY OTHER EXCAVATED MATERIAL, WEEDS AND BUILDING DEBRIS
  - BUILDER IS TO PROVIDE APPROPRIATE TEMPORARY & PERMANENT FENCING TO THE SITE IN ACCORDANCE WITH ALL RELEVANT AUSTRALIAN STANDARDS & LOCAL AUTHORITY REQUIREMENTS
  - BUILDER TO ENSURE SITE ACCESS, TRAFFIC MANAGEMENT, & WATER STORAGE AREA COMPLY WITH THE BCA, ALL RELEVANT AUSTRALIAN STANDARDS & LOCAL AUTHORITY REQUIREMENTS
  - CROSSOVER TO COMPLY WITH COUNCIL REGULATIONS
  - RAMPS, WALKWAYS & FOOTPATHS ARE TO COMPLY WITH DESIGN DOCUMENTS (INCLUSIVE OF ALL PROJECT CONSULTANTS) & AS 1428.1.10. DISCREPANCIES BETWEEN CONSULTANTS' DESIGNS, & BETWEEN DESIGN DOCUMENTS & THE STANDARD ARE TO BE REFERRED TO THE DESIGNER
  - CAR PARKING LAYOUTS ARE TO COMPLY WITH DESIGN DOCUMENTS (INCLUSIVE OF ALL PROJECT CONSULTANTS) & AS 2890. DISCREPANCIES BETWEEN CONSULTANTS' DESIGNS, & BETWEEN DESIGN DOCUMENTS & THE STANDARD ARE TO BE REFERRED TO THE DESIGNER

**SITE DETAILS:**

STREET ADDRESS: 33-35 MAITLAND ST BINGARA NSW 2404

SITE DESCRIPTION: Lot 20 Section 38 DP758111  
Lot 1 DP 87721

SITE AREA: 3000 m<sup>2</sup> (VERIFY)

LOCAL AUTHORITY: GWYDIR SHIRE COUNCIL  
PARISH OF BINGARA  
COUNTY OF MURCHISON

**BUILDING USE DETAILS:**

POPULATION: MAX 48 STAFF

OPERATING HOURS: 9am - 4pm MON-FRI

**BUILDING CODE DETAILS:**

BUILDING CLASS: 5

CONSTRUCTION TYPE: C

TOTAL FLOOR AREA (EXISTING): 1461m<sup>2</sup>

TOTAL FLOOR AREA (PROPOSED): 1098m<sup>2</sup>

TOTAL LANDSCAPING (EXISTING): 25m<sup>2</sup> (<1%)

TOTAL LANDSCAPING (PROPOSED): 170m<sup>2</sup> (5.6%)

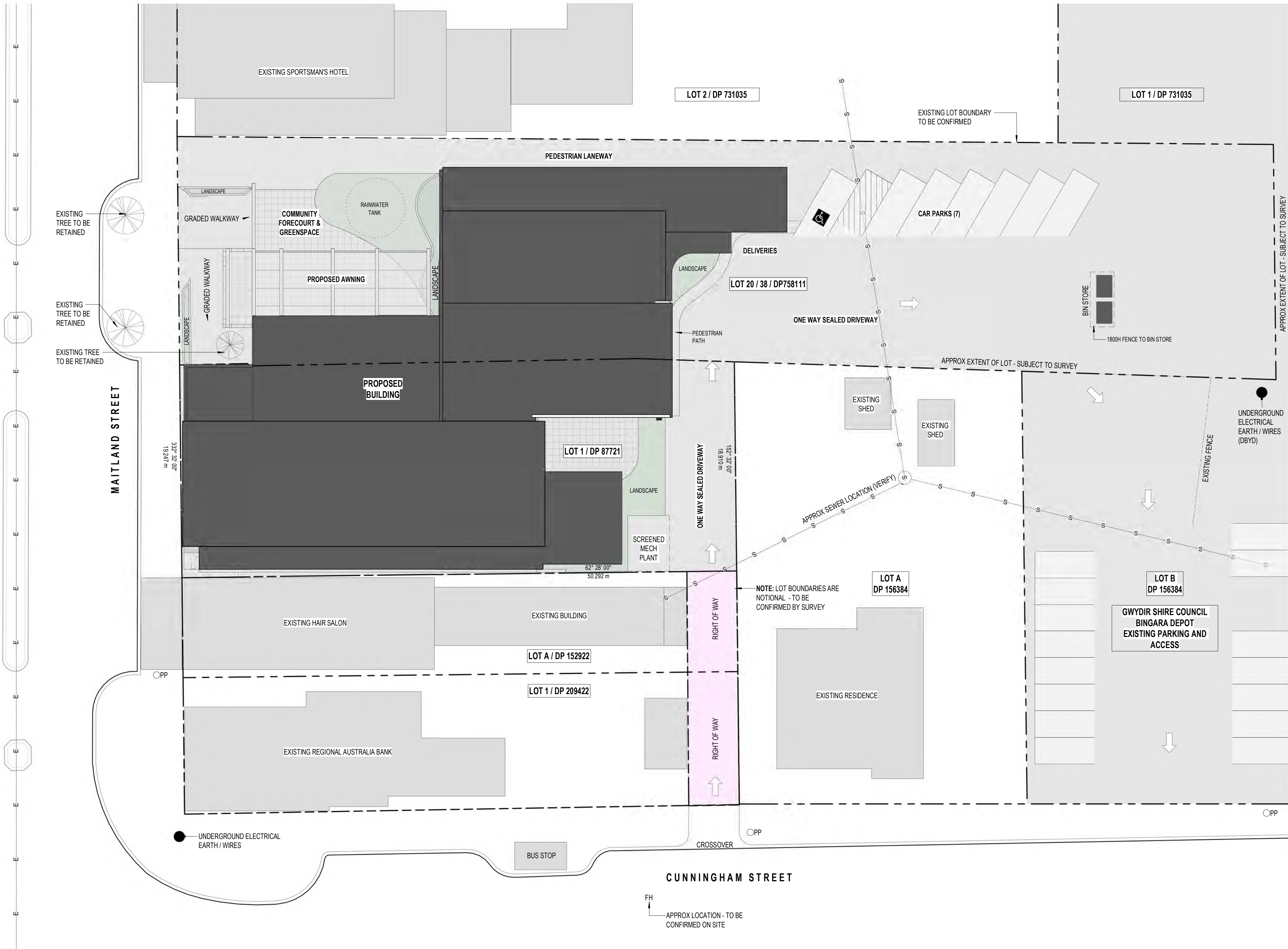
VOLUME: <12000 m<sup>3</sup>

FIRE COMPARTMENTS: 1

STOREYS: 1

CLIMATE ZONE: ZONE 4

AREA SCHEDULE		
NAME	AREA	
MAIN BUILDING	1065 m <sup>2</sup>	
STAFF COURTYARD	57 m <sup>2</sup>	
COLONNADE	152 m <sup>2</sup>	
PUBLIC AMENITIES	33 m <sup>2</sup>	
GRAND TOTAL	1307 m <sup>2</sup>	



PROPOSED SITE PLAN

1:200



STRUXI DESIGN PTY LTD  
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SHEET ISSUE HISTORY		
ISSUE	DESCRIPTION	DATE
A	FOR DEVELOPMENT APPLICATION	02.11.2023

**PROJECT NAME**  
BINGARA ADMINISTRATION HUB

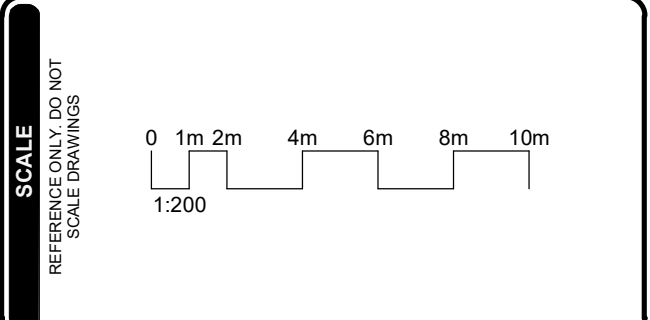
**STREET ADDRESS**  
33-35 MAITLAND ST  
BINGARA NSW 2404

**REAL PROPERTY DESCRIPTION**  
L1 DP87721  
L20 Section 38 DP758111

**CLIENT**  
GWYDIR SHIRE COUNCIL

## PROPOSED SITE PLAN

AUTHOR	DOH
DESIGNER	OCK
ORIGINAL SIZE	594 x 841 - ISO A1
PRINT DATE	02-Nov-23 1:10:31 PM



**AUTHORISATION**  
THIS DRAWING IS UNCONTROLLED WITHOUT DESIGNER'S SIGNATURE BELOW

**NORTH**

**PRELIMINARY**  
REFER TO 'USE DEFINITION' ABOVE

PROJECT NO.	PHASE	SHEET NO.	ISSUE
231967	DA	002	A

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